

	CITY OF DE PERE APPLICATION FOR SITE PLAN REVIEW	Fee: \$ 350.00
		Receipt #: Fee waived for City project (PJS).
		Date: 30 Mar 2023

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information			
Applicant Name (Ind., Org. or Entity) McMahon Associates	Authorized Representative Kevin Chevalier	Title Project manager	
Mailing Address 1445 McMahon Drive	City Neenah	State WI	ZIP Code 54956
Email Address kchevalier@mcmgrp.com	Phone Number (incl. area code) 920-751-4200	Fax Number (incl. area code)	
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Name (Ind. Org. or Entity) City of De Pere	Contact Person Marty Kosobucki	Title Parks, Recreation and Forestry Director	
Mailing Address 925 S. Sixth Street	City De Pere	State WI	ZIP Code 54115
Email Address mkosobucki@deperwi.gov	Phone Number (incl. area code) 920 - 339 - 4065	Fax Number (incl. area code)	
SECTION 3: Project or Site Location			
Project Address/Description Restroom and Multi-Use Facility		Parcel No. ED-728	
SECTION 4: Project Information			
Existing Zoning:	P-1 Neighborhood Public and Institutional District		
Present Use of Parcel:	Park		
Proposed Use of Parcel:	Park		
Estimated Start Date:	June 2023	Estimated Completion Date:	May 2024
Please submit 1 hard copy 24x36, 1 hard copy 11x17 and 1 PDF copy of the submittal.			
SECTION 5: Certification and Permission			
Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws. Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.			
Name of Owner/Authorized Representative (please print) Kevin Chevalier	Title Project Manager	Phone Number 920-751-4200	
Signature of Applicant 		Date Signed March 30, 2023	

TO BE COMPLETED BY CITY STAFF

CSM Review authorized by the De Pere Municipal Code, Chapter 46.

CITY OF DE PERE

335 South Broadway, De Pere, WI 54115 | www.de-pere.org



September 1, 2023

Kevin Chevalier, Project Manager
McMahon Associates
1445 McMahon DR
Neenah, WI 54956

RE: Site Plan Review for Restroom and Multi-Use Facility at 100 William ST (Voyageur Park)
(Parcel ED-728)

Dear Kevin:

Thank you for the revised site plan for the Restroom and Multi-Use Facility at 100 William ST (Voyageur Park). The City of De Pere staff reviewed the site plan on September 1, 2023, and recommended approval, with the following condition that needs to be addressed prior to requesting occupancy permits:

- After exterior lighting is installed, provide a statement from the installer that the light spill from the property does not exceed the approved lighting detail/photometric plan.

You may now proceed to the Inspection Division to begin the process of obtaining permits. Should you have any questions regarding the decision or require further information, feel free to contact me at 339-4043 or pschleinz@deperewi.gov.

Sincerely,

A handwritten signature in black ink that reads "Peter Schleinz". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Peter Schleinz
Senior Planner | Zoning Administrator

cc: Daniel J. Lindstrom, AICP, Development Services Director
Dennis Jensen, Senior Building Inspector

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NELSON FAMILY PAVILION

CITY OF DE PERE

100 WILLIAM ST, DE PERE, WI 54115



NELSON FAMILY PAVILION
CITY OF DE PERE 100 WILLIAM ST, DE PERE, WI 54115

COVER SHEET

DESIGNED KJC	DRAWN CAW
PROJECT NO. D0005 06-22-00146	
DATE MARCH 30 2023	
SHEET NO.	

A001

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McMAHON
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NELSON FAMILY PAVILION

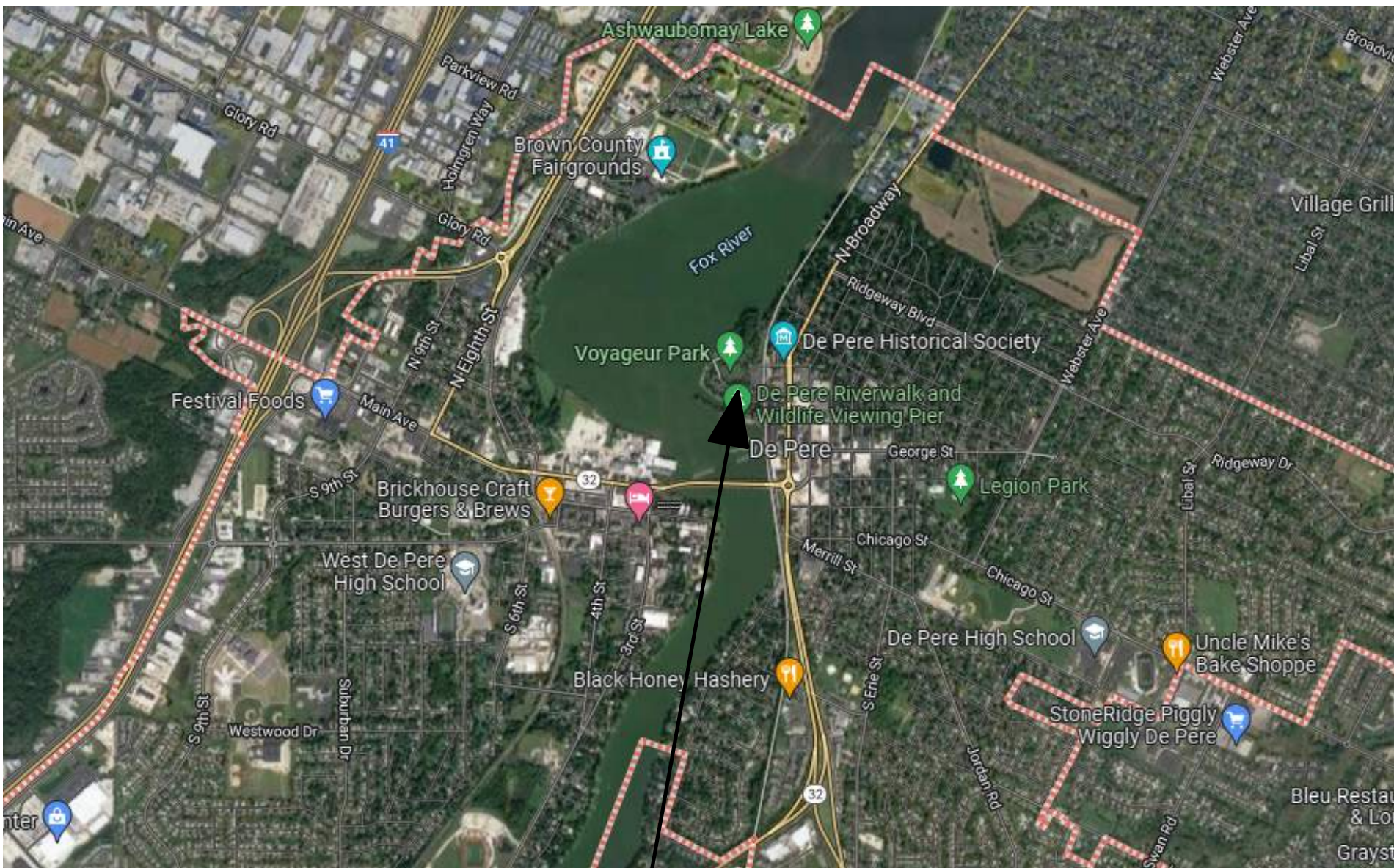
CITY OF DE PERE

100 WILLIAM ST, DE PERE, WI 54115

SHEET INDEX

SHEET NO.	SHEET DESCRIPTION	ISSUED FOR BIDDING AND DSPS REVIEW MARCH 10, 2023	ISSUED FOR SITE PLAN REVIEW MARCH 30, 2023			
GENERAL						
A001	COVER SHEET	X	X			
A002	TITLE SHEET	X	X			
A011	LIFE SAFETY PLAN	X	X			
A012	ARCHITECTURAL SITE PLAN	X	X			
CIVIL						
C101	ABBREVIATIONS, SYMBOLS & NOTES	X	X			
C102	EXISTING SITE & SURVEY CONTROL	X	X			
C103	SITE REMOVALS AND DEMOLITION PLAN	X	X			
C104	PROPOSED SITE PLAN	X	X			
C105	MISCELLANEOUS DETAILS	X	X			
C106	MISCELLANEOUS DETAILS	X	X			
ARCHITECTURAL						
A111	FIRST FLOOR DEMOLITION PLAN	X	X			
A211	FIRST FLOOR PLAN	X	X			
A231	ROOF PLAN	X	X			
A241	FINISH AND FURNITURE PLAN	X	X			
A271	REFLECTED CEILING PLAN	X	X			
A291	DOOR SCHEDULE, DOOR & WINDOW ELEVATIONS	X	X			
A301	EXTERIOR ELEVATIONS	X	X			
A302	EXTERIOR ELEVATIONS	X	X			
A311	BUILDING SECTIONS	X	X			
A312	BUILDING SECTIONS	X	X			
A351	WALL SECTIONS	X	X			
A411	ENLARGED RESTROOM PLANS & ELEVATIONS	X	X			
A811	EXTERIOR DETAILS	X	X			
A812	EXTERIOR DETAILS	X	X			
STRUCTURAL						
S101	STRUCTURAL SPECIFICATIONS	X				
S102	STRUCTURAL SPECIFICATIONS	X				
S103	STRUCTURAL SCHEDULES	X				
S104	SNOW DRIFT PLAN	X				
S201	FOUNDATION PLAN	X				
S202	LOW ROOF FRAMING PLAN	X				
S203	HIGH ROOF FRAMING PLAN	X				
S301	FOUNDATION DETAILS					
S302	FOUNDATION DETAILS	X				
S401	MASONRY DETAILS	X				
S501	FRAMING DETAILS	X				
S502	FRAMING DETAILS	X				
PLUMBING						
P001	PLUMBING TITLE SHEET	X				
P102	PLUMBING FLOOR PLANS	X				
P901	RISER DIAGRAMS	X				
HVAC						
H001	HVAC TITLE SHEET	X				
H201	HVAC FIRST FLOOR PLAN	X				
H202	HVAC UNDERGROUND PIPING PLAN	X				
H203	HVAC PIPING PLAN	X				
H231	ROOF HVAC PLAN	X				
H301	HVAC SCHEMATIC	X				
H501	HVAC SCHEDULES	X				
H601	HVAC DETAILS	X				
ELECTRICAL						
E001	ELECTRICAL NOTES	X				
E002	ELECTRICAL SYMBOLS AND ABBREVIATIONS	X				
E101	ELECTRICAL SITE PLAN	X				
E201	FIRST FLOOR POWER PLAN	X				
E211	FIRST FLOOR LIGHTING PLAN	X				
E221	FIRST FLOOR SPECIAL SYSTEMS PLAN	X				
E301	ELECTRICAL DETAILS	X				
E401	ELECTRICAL SCHEDULES	X				
E411	LIGHTING SCHEDULES	X				
E501	ELECTRICAL DETAILS	X				

PROJECT LOCATION MAP



PROJECT LOCATION

DESIGN TEAM

ARCHITECTURAL

McMAHON
1445 McMAHON DRIVE
NEENAH, WI 54956
(920) 751-4200
PROJECT MANAGER: KEVIN CHEVALIER
E-MAIL: KChevalier@mcmgrp.com

STRUCTURAL

McMAHON
1445 McMAHON DRIVE
NEENAH, WI 54956
(920) 751-4200
PROJECT MANAGER: SPENCER KOCKEN
E-MAIL: SKocken@mcmgrp.com

CIVIL

McMAHON
1445 McMAHON DRIVE
NEENAH, WI 54956
(920) 751-4200
PROJECT MANAGER: RON WOLF
E-MAIL: RWolf@mcmgrp.com

HVAC

ALL HVAC DESIGN
W556 WRIGHTSTOWN RD
KAUKAUNA, WI 54130
(920) 268-6404
PROJECT MANAGER: JOE FERG
E-MAIL: ALLHVACDESIGN@GMAIL.COM

PLUMBING

McMAHON
1445 McMAHON DRIVE
NEENAH, WI 54956
(920) 751-4200
PROJECT MANAGER: EDWARD ERICKSON
E-MAIL: EErickson@mcmgrp.com

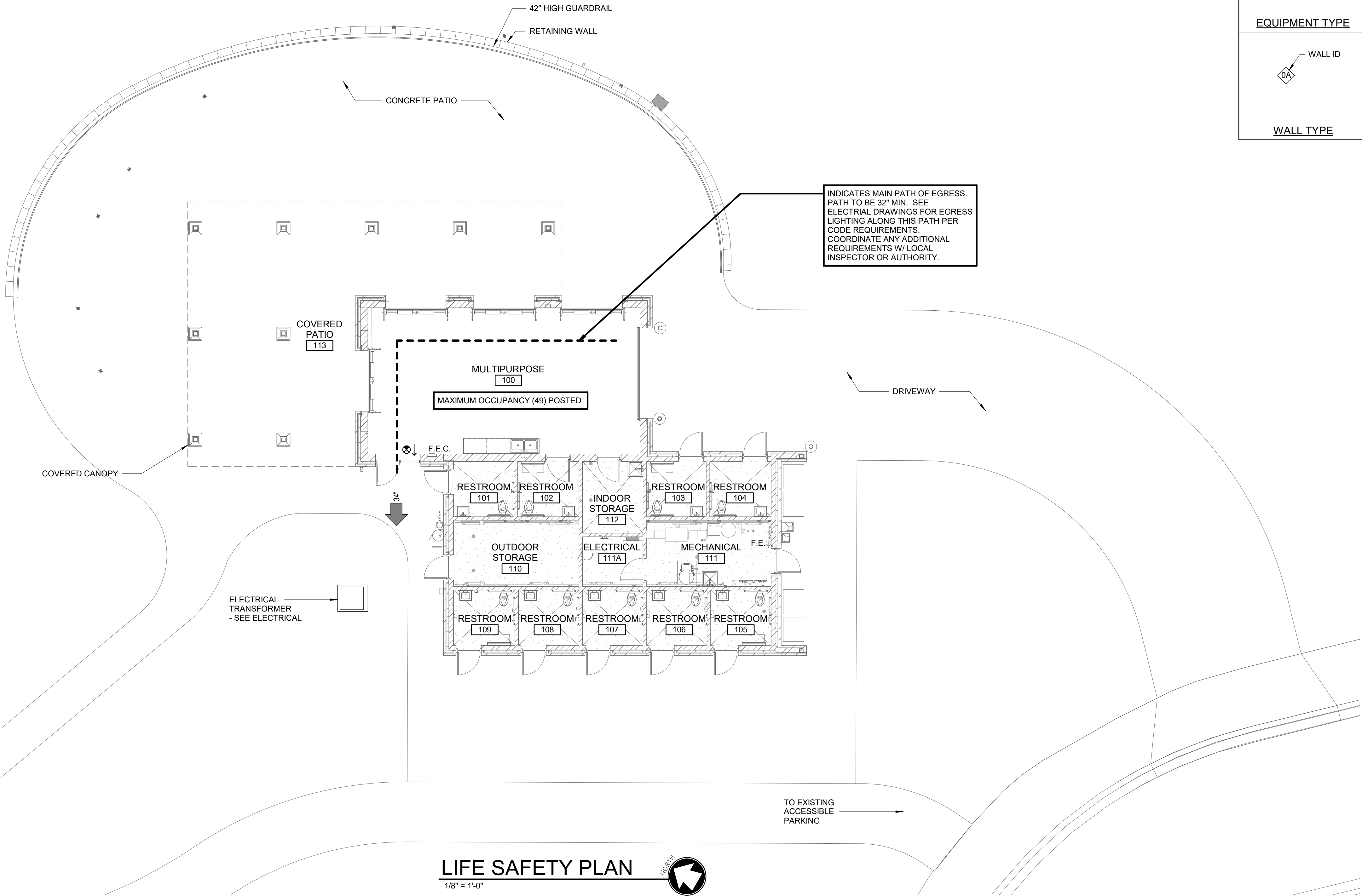
ELECTRICAL

McMAHON
1445 McMAHON DRIVE
NEENAH, WI 54956
(920) 751-4200
PROJECT MANAGER: JILL FITZSIMONS
E-MAIL: JFitzsimons@mcmgrp.com

IMPORTANT NOTICE: THE DRAWINGS AND THE SPECIFICATIONS TOGETHER REPRESENT THE CONSTRUCTION DOCUMENTS, AND AS SUCH, MUST BE USED TOGETHER AS THE BASIS OF DESIGN. THE CONTRACTOR IS SPECIFICALLY INSTRUCTED NOT TO LIMIT THEIR UNDERSTANDING OF THE SCOPE OF THIS PROJECT BASED UPON THE SPECIFICATIONS INDEX. THE CONTRACTOR IS RESPONSIBLE TO REVIEW ALL INFORMATION IN BOTH THE DRAWINGS AND SPECIFICATIONS, AND IS THEREFORE, REQUIRED TO PROVIDE ALL DEFINED, AND REASONABLY IMPLIED, SCOPE OF WORK NO MATTER WHERE IT APPEARS IN THE CONSTRUCTION DOCUMENTS. IN ADDITION, THE CONTRACTOR IS TO REVIEW ANY FORMALLY PROVIDED MODIFICATIONS, CLARIFICATIONS, ADDENDUMS AND/OR OTHER INFORMATION AND INCORPORATE THAT INFORMATION INTO THE CONTRACTOR'S UNDERSTANDING OF THE SCOPE OF THE PROJECT.

DESIGNED	DRAWN
KJC	CAW
PROJECT NO.	
D0005 06-22-00146	
DATE	
MARCH 30 2023	
SHEET NO.	

ABBREVIATIONS					
@	AT	CTR	CENTER	FL	FLOOR
ACT	ACOUSTICAL TILE	DF	DRINKING FOUNTAIN	FND	FOUNDATION
ADA	AMERICANS W/ DISABILITIES ACT	DIA / Ø	DIAMETER	FUT	FUTURE
ADDL	ADDITIONAL	DIM	DIMENSION	GALV	GALVANIZED
ADJ	ADJUSTABLE	DS	DOWNSPOUT	GC	GENERAL CONTRACTOR
AFF	ABOVE FINISHED FLOOR	DTL	DETAIL	GYP BD	GYP SUM BOARD
ALT	ALTERNATE / ALTERNATIVE	DW	DISHWASHER	HB	HOSE BIB
ALUM	ALUMINUM	EWG	DRAWING	HDCP	HANDICAP
BLDG	BUILDING	EA	EACH	HM	HOLLOW METAL
BLKG	BLOCKING	EF	EACH FACE	HR	HOUR
BOT	BOTTOM	ELEC	ELECTRIC / ELECTRICAL	ID	INSIDE DIAMETER
BRG	BEARING	ELEV	ELEVATION	IMP	INSULATED METAL PANEL
CL / ☐	CENTERLINE	ENCL	ENCLOSURE / ENCLOSED	INSUL	INSULATION
CAB	CABINET	EQ	EQUAL	INT	INTERIOR
CJ	CONTROL JOINT	EQUIP	EQUIPMENT	LAV	LAVATORY
CLG	CEILING	EW	EACH WAY	MAX	MAXIMUM
CLO	CLOSET	EW	ELECTRIC WATER COOLER	MECH	MECHANICAL
CLR	CLEAR	EXTG	EXISTING	MISC	MISCELLANEOUS
CMU	CONCRETE MASONRY UNIT	EXH	EXHAUST	MFG	MANUFACTURER
COL	COLUMN	EXT	EXTERIOR	MIN	MINIMUM
CONC	CONCRETE	F	FILLER PANEL	MO	MASONRY OPENING
CONST	CONSTRUCTION	FD	FLOOR DRAIN	NIC	NOT IN CONTRACT
CONT	CONTINUOUS	FE	FIRE EXTINGUISHER	NTS	NOT TO SCALE
COORD	COORDINATE	FEC	FIRE EXTINGUISHER CABINET	OC	ON CENTER
CORR	CORRIDOR	FIN	FINISH / FINISHED	OD	OUTSIDE DIAMETER
				OSB	ORIENTED STRAND BOARD
				PC	PRECAST
				PLAM	PLASTIC LAMINATE
				PR	PAIR
				QT	QUARRY TILE
				R	RISER
				RD	ROOF DRAIN
				REINF	REINFORCING / REINFORCED
				REQ	REQUIRED
				RO	ROUGH OPENING
				SC	SEALED CONCRETE
				SCHED	SCHEDULE
				SF	SQUARE FOOT
				SIM	SIMILAR TO
				SPEC	SPECIFICATION
				SS	STAINLESS STEEL
				STL	STEEL
				STRUCT	STRUCTURAL
				T&B	TOP AND BOTTOM
				T&G	TONGUE & GROOVE
				TBD	TO BE DETERMINED
				TYP	TYPICAL
				UNO	UNLESS NOTED OTHERWISE
				W/O	WITHOUT
				WD	WOOD



INDICATES MAIN PATH OF EGRESS.
PATH TO BE 32" MIN. SEE
ELECTRICAL DRAWINGS FOR EGRESS
LIGHTING ALONG THIS PATH PER
CODE REQUIREMENTS.
COORDINATE ANY ADDITIONAL
REQUIREMENTS W/ LOCAL
INSPECTOR OR AUTHORITY.

SYMBOL KEY			
 DIRECTION SECTION IS CUT SECTION NUMBER SHEET SECTION APPEARS ON	 ELEVATION NUMBER SHEET ELEVATION APPEARS ON	 FIRST FLOOR ELEVATION	 GRID DESIGNATION
<u>SECTION</u>	<u>ELEVATION</u>	<u>ELEVATION DATUM</u>	<u>COLUMN GRID</u>
 DIRECTION DETAIL IS CUT DETAIL NUMBER SHEET DETAIL APPEARS ON	 DIRECTION OF ELEVATION ELEVATION NUMBER SHEET ELEVATION APPEARS ON	 ROOM NAME ROOM NUMBER	 CEILING TYPE CEILING HEIGHT
<u>DETAIL</u>	<u>INTERIOR ELEVATION</u>	<u>ROOM NAME & NUMBER</u>	<u>CEILING KEY</u>
 TYPE ID	 WINDOW NUMBER	 ROOM NAME ROOM NUMBER	 REVISION CLOUD AROUND REVISED ITEMS
<u>EQUIPMENT TYPE</u>	<u>WINDOW TYPE</u>	<u>PLAN KEYNOTE</u>	<u>REVISION</u>
 WALL ID	 DOOR NUMBER	 ROOM NAME ROOM NUMBER	 DEMOLITION KEYNOTE
<u>WALL TYPE</u>	<u>DOOR TYPE</u>	<u>ACCESSORY KEYNOTE</u>	<u>DEMOLITION KEYNOTE</u>

CODE KEY	
 EMERGENCY EXIT PATH OF TRAVEL	
 F.E.C. FIRE EXTINGUISHER CABINET (SEMI-RECESSED)	
 F.E. WALL MOUNTED FIRE EXTINGUISHER	
 EXIT DISCHARGE PROVIDED (CLEAR WIDTH IN INCHES)	
 EXIT SIGN	

BUILDING CODE INFORMATION

THE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE FOLLOWING CODES -
NOTIFY THE ARCHITECT OF ANY CONFLICTS

CODES:
2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL MECHANICAL CODE
WISCONSIN DSPS PLUMBING CODE
2017 NATIONAL ELECTRICAL CODE
2015 INTERNATIONAL FIRE CODE
2015 INTERNATIONAL FUEL GAS CODE
2009 ICC/ANSI 117.1-2009 ACCESSIBILITY CODE

BUILDING AREA:	1,740 S.F.
OPEN PAVILION AREA:	1,114 S.F.
TOTAL:	2,854 S.F.
NUMBER OF STORIES:	(1) STORY
ALLOWABLE AREA PER TABLE 503:	(2) STORIES - 9,000 SF
BUILDING HEIGHT:	17'-0" AT HIGH POINT (40' ALLOWABLE FOR TYPE VB)
OCCUPANCY CLASSIFICATION:	"A-3" - ASSEMBLY
CONSTRUCTION CLASSIFICATION:	VB
AUTOMATIC SPRINKLER PROTECTION:	NONE
OCCUPANCY BY CALCULATION (15 NET):	1740/15 = 116 OCCUPANTS (OPEN PAVILION)

SITE PARKING INFORMATION

INFORMATION BELOW IS BASED ON PARKING LOCATED AT VOYAGEUR PARK WITH CLOSE
PROXIMITY TO THE PROPOSED PAVILION.

STANDARD PARKING STALLS:	243
ACCESSIBLE PARKING STALLS:	7

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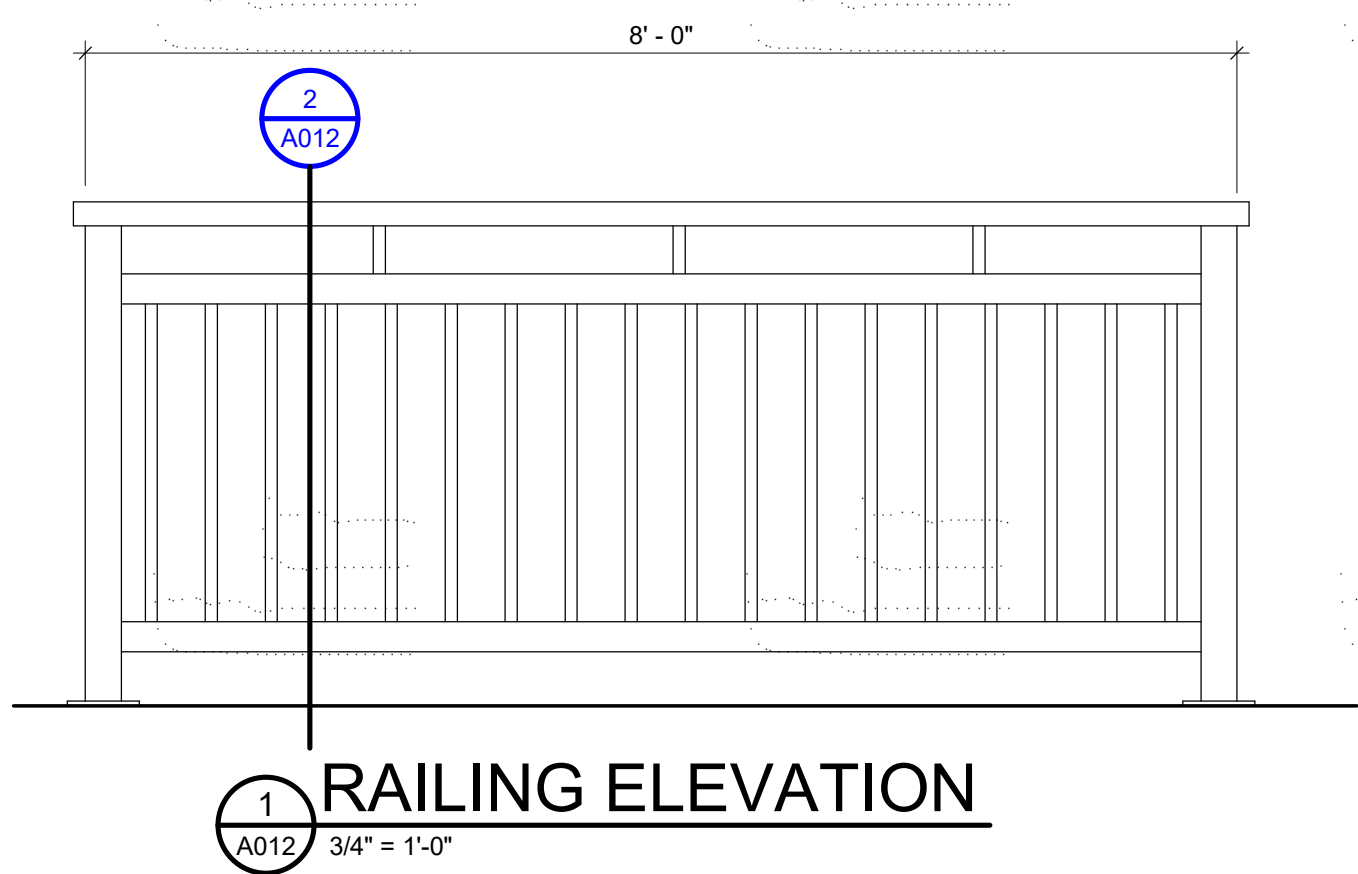
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REVISION	DATE	BY

NELSON FAMILY PAVILION
CITY OF DE PERE 100 WILLIAM ST, DE PERE, WI 54115
LIFE SAFETY PLAN

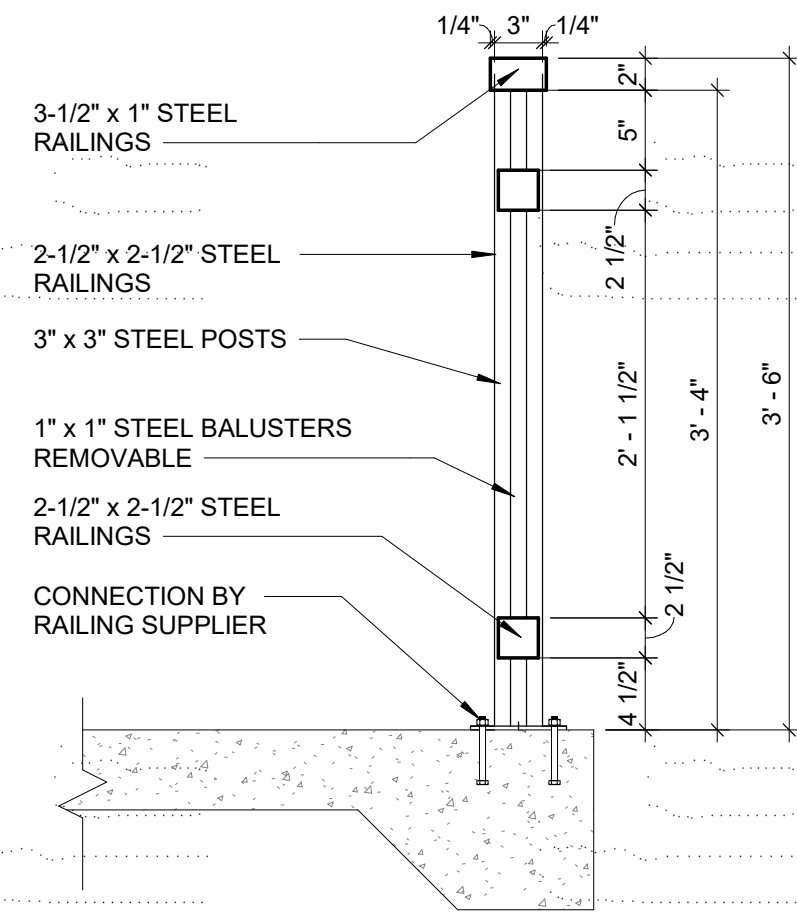
DESIGNED KJC	DRAWN CAW
PROJECT NO. D0005 06-22-00146	
DATE MARCH 30 2023	
SHEET NO. A011	

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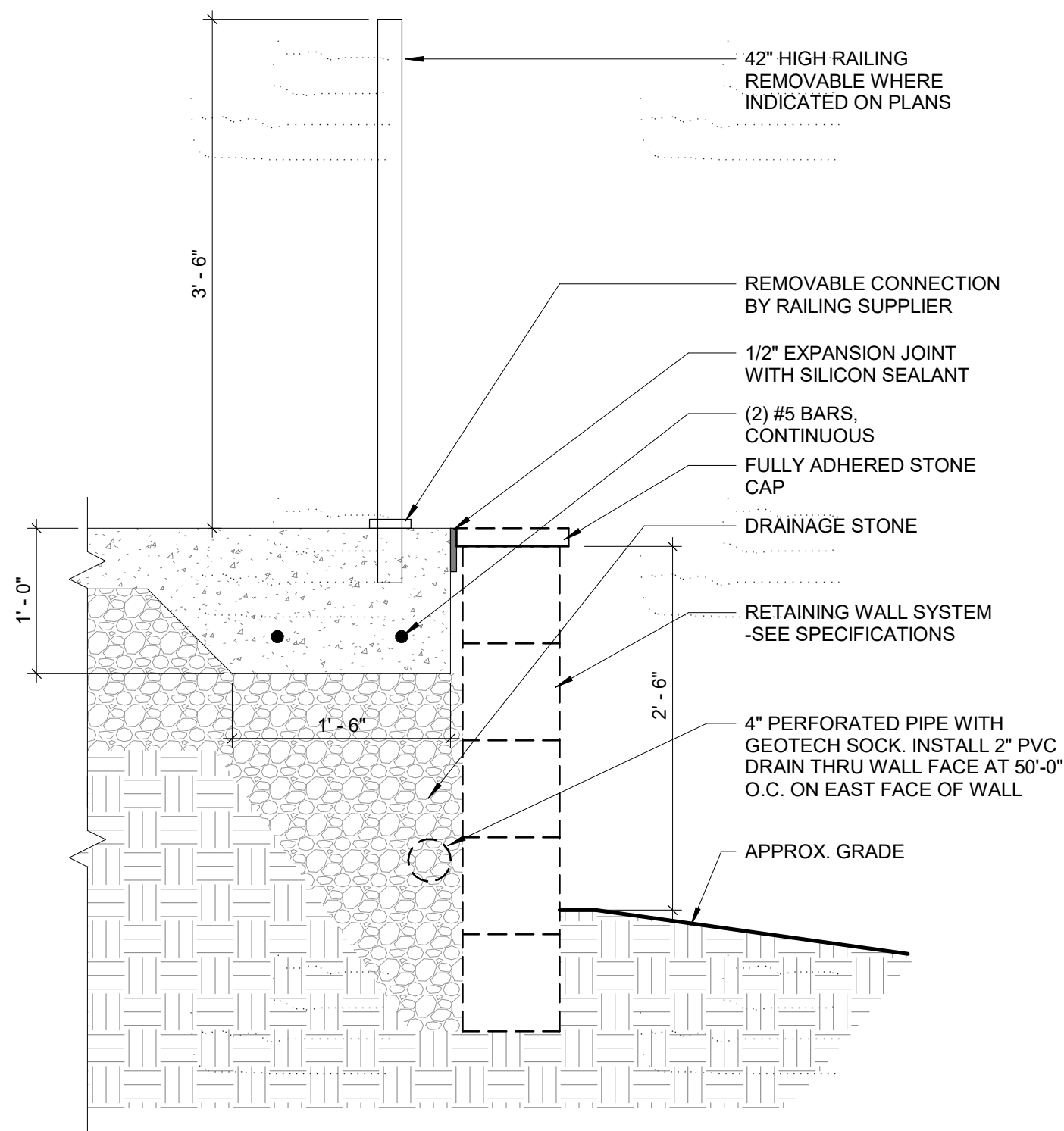
1 RAILING ELEVATION

A012 3/4" = 1'-0"



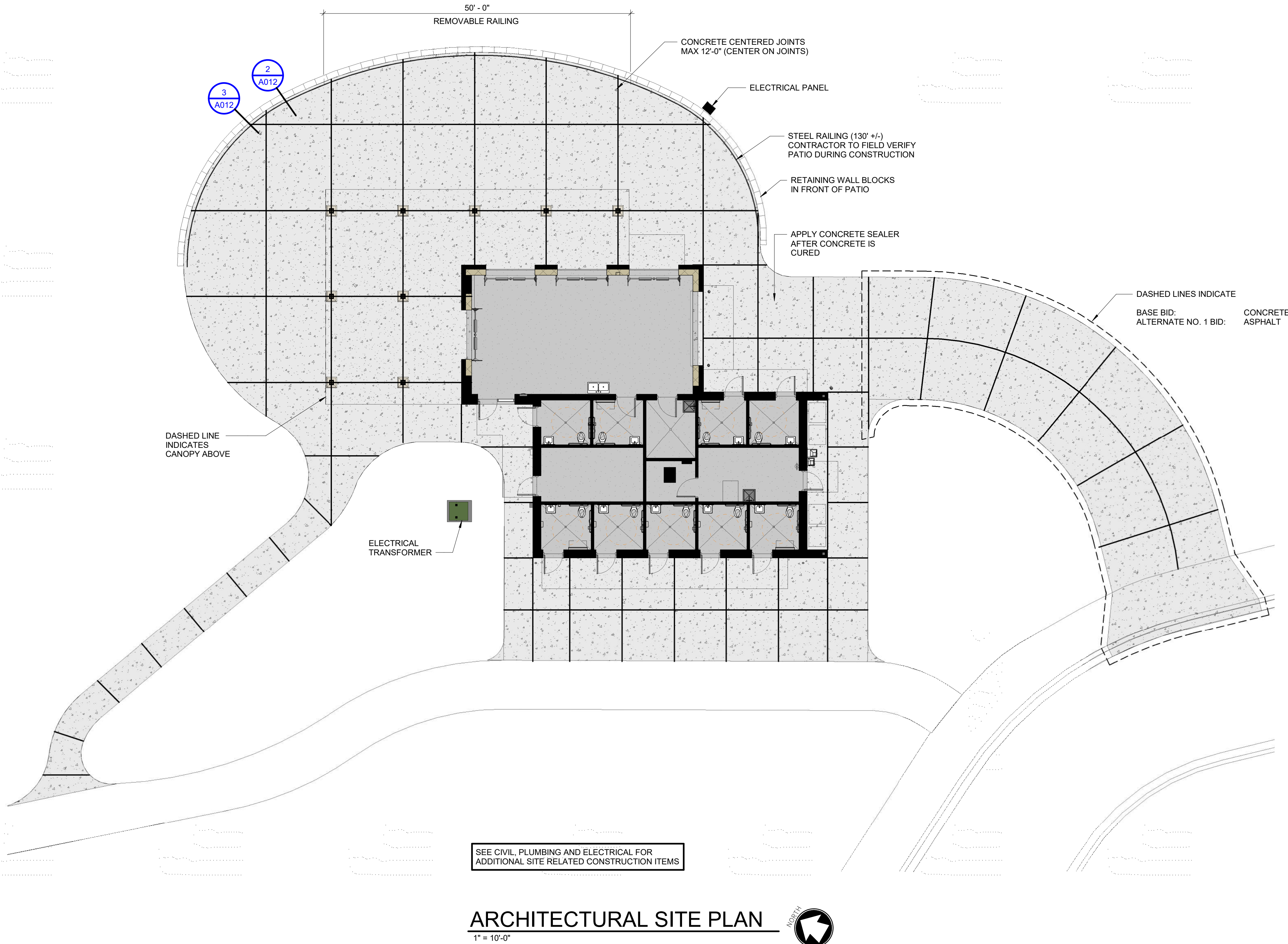
2 RAILING SECTION

A012 1" = 1'-0"



3 RETAINING WALL

A012 1" = 1'-0"



ARCHITECTURAL SITE PLAN

1" = 10'-0"

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REVISION	DATE	BY

DATE	BY

NELSON FAMILY PAVILION
CITY OF DE PERE 100 WILLIAM ST, DE PERE, WI 54115
ARCHITECTURAL SITE PLAN

DESIGNED KJC	DRAWN KJC
PROJECT NO. D0005 06-22-00146	DATE MARCH 30 2023
SHEET NO. A012	

STANDARD ABBREVIATIONS

	ACRE	LT	LEFT
AGG	AGGREGATE	LVC	LENGTH OF VERTICAL CURVE
AH	AHEAD	MAINT	MAINTENANCE
ASPH	ASPHALT PAVEMENT	MAT'L	MATERIAL
AVG	AVERAGE	MAX	MAXIMUM
B-B	BACK TO BACK	MIN	MINIMUM
BEG	BEGIN	MH	MANHOLE
BIT	BITUMINOUS	MP	MILE POST
BK	BACK	NB	NORTHBOUND
B/L	BASE LINE	NO	NUMBER
BLDG	BUILDING	NOR	NORMAL
BM	BENCH MARK	OD	OUTSIDE DIAMETER
BOC	BACK OF CURB	OBLIT	OBLITERATE
BRG	BEARING	PAV'T	PAVEMENT
C-C	CENTER TO CENTER	PC	POINT OF CURVATURE
CY	CUBIC YARD	PCC	PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVATURE
C&G	CURB AND GUTTER		
CB	CATCH BASIN	PE	PRIVATE ENTRANCE
CE	COMMERCIAL ENTRANCE	PED	PEDESTAL
CHD	CHORD	PGL	PROFILE GRADE LINE
C/L	CENTER LINE	PI	POINT OF INTERSECTION
CL	CLASS (FOR CONC PIPE)	P/L	PROPERTY LINE
CMP	CORRUGATED METAL PIPE	PLE	PERMANENT LIMITED EASEMENT
CO	CLEAN OUT	PP	POWER POLE
CONC	CONCRETE	PRC	POINT OF REVERSE CURVATURE
CORR	CORRUGATED	PROP	PROPOSED
CP	CONTROL POINT	PSD	PASSING SIGHT DISTANCE
CR	CRUSHED	PSI	POUNDS PER SQUARE INCH
CS	CURB STOP	PT	POINT OF TANGENCY
CSW	CONCRETE SIDEWALK	PVC	POLYVINYL CHLORIDE OR
CTH	COUNTY TRUNK HIGHWAY		POINT OF VERTICAL CURVATURE
CULV	CULVERT	PVI	POINT OF VERTICAL INTERSECTION
D	DEPTH OR DELTA	PVT	POINT OF VERTICAL TANGENCY
DI	DUCTILE IRON	R	RADIUS
DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DIS	DISCHARGE	RD	ROAD
EA	EACH	REBAR	REINFORCEMENT ROD
EB	EASTBOUND	REM	REMOVE
EBS	EXCAVATION BELOW SUBGRADE	RECON	RECONSTRUCT
EG	EDGE OF GRAVEL	REQ'D	REQUIRED
ELEV	ELEVATION	R/L	REFERENCE LINE
ELEC	ELECTRIC	RP	RADIUS POINT
EMB	EMBANKMENT	RR	RAILROAD
EMAT	EROSION MAT	RT	RIGHT
ENT	ENTRANCE	R/W	RIGHT-OF-WAY
EOR	END OF RADIUS	SB	SOUTHBOUND
EP	EDGE OF PAVEMENT	SE	SUPERELEVATION
EXC	EXCAVATION	SF	SQUARE FEET
EX	EXISTING	SI	SLOPE INTERCEPT
EW	ENDWALL	STH	STATE TRUNK HIGHWAY
F-F	FACE TO FACE	SY	SQUARE YARD
FDN	FOUNDATION	SALV	SALVAGED
FE	FIELD ENTRANCE	SAN	SANITARY
FERT	FERTILIZER	SEC	SECTION
FG	FINISHED GRADE	SHLDR	SHOULDER
F/L	FLOW LINE	S/L	SURVEY LINE
FT	FOOT	SQ	SQUARE
FTG	FOOTING	STA	STATION
GRAV	GRAVEL	STD	STANDARD
GN	GRID NORTH	STO	STORM
GV	GAS VALVE	SW	SIDEWALK
HDPE	HIGH DENSITY POLYETHYLENE	TC	TOP OF CURB
HE	HIGHWAY EASEMENT	TEL	TELEPHONE
HMA	HOT MIX ASPHALT	TEMP	TEMPORARY
HP	HIGH POINT	TLE	TEMPORARY LIMITED EASEMENT
HT	HEIGHT	TV	TELEVISION
HYD	HYDRANT	TYP	TYPICAL
ID	INSIDE DIAMETER	UG	UNDERGROUND
IN	INCH	USH	U.S. HIGHWAY
INL	INLET	VAR	VARIES
INV	INVERT	VC	VERTICAL CURVE
IP	IRON PIPE	VERT	VERTICAL
JCT	JUNCTION	WB	WESTBOUND
LB	POUND	WM	WATER MAIN
LF	LINEAR FOOT	WV	WATER VALVE
LP	LIGHT POLE		

GENERAL NOTES

1. THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING ANY PRIVATE UTILITIES, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY VERTICAL DISCREPANCY.
3. THE PROPERTY LINES, RIGHT-OF-WAY LINES AND OTHER PROPERTY INFORMATION ON THIS DRAWING WERE DEVELOPED OR OBTAINED AS PART OF THE COUNTY GEOGRAPHIC INFORMATION SYSTEM OR THROUGH THE COUNTY PROPERTY TAX MAPPING FUNCTION. MCMAHON DOES NOT GUARANTEE THIS INFORMATION TO BE CORRECT, CURRENT OR COMPLETE. THE PROPERTY AND RIGHT-OF-WAY INFORMATION ARE INTENDED FOR USE AS A GENERAL REFERENCE AND ARE NOT INTENDED OR SUITABLE FOR SITE-SPECIFIC USES. ANY USE TO THE CONTRARY OF THE ABOVE STATED USES IS THE RESPONSIBILITY OF THE USER AND SUCH USE IS AT THE USER'S OWN RISK.
4. NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT PRIOR APPROVAL FROM THE OWNER.
5. A SAWED JOINT IS REQUIRED WHERE NEW HMA PAVEMENT MATCHES EXISTING ASPHALTIC CONCRETE SURFACE.
6. ALL CURB RADII SHOWN ON THE PLAN SHEETS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
7. DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

THIS PLAN SET WAS CREATED WITH **CIVIL3D 2020**. MCMAHON'S "DISCLAIMER FOR TRANSFER OF ELECTRONIC FILES" FORM NEEDS TO BE SIGNED IF A COPY OF THE ELECTRONIC FILES ARE REQUESTED. MCMAHON MAKES NO REPRESENTATION REGARDING THE COMPATIBILITY OF THESE FILES WITH OTHER SOFTWARE, NOR DOES MCMAHON REPRESENT THAT THE FILES WILL CONVERT TO OTHER SOFTWARE WITHOUT ERROR.

STANDARD SYMBOLS (PLAN VIEW ONLY)

	2" IRON PIPE FOUND		TELEPHONE CABLE - BURIED
	1 1/4" REBAR FOUND		ELECTRIC CABLE - BURIED
	1 1/4" x 30" IRON REBAR WEIGHING 4.30 LB/LF SET		UTILITIES - OVERHEAD
	1" (1.315 OD) IRON PIPE FOUND		FIBER OPTIC CABLE - BURIED
	1" IRON PIPE SET		GAS MAIN
	3/4" IRON REBAR FOUND		CABLE TELEVISION - BURIED
	3/4" IRON PIPE FOUND		DITCH LINE
	3/4"x 24" IRON REBAR WEIGHING 1.5 LB/LF SET		STREET C/L OR R/L
	MAG NAIL FOUND		PROPERTY LINE
	MAG NAIL SET		RIGHT-OF-WAY LINE
	MAG SPIKE FOUND		SECTION LINE
	MAG SPIKE SET		EXISTING CONTOURS
	CHISEL CROSS FOUND		PROPOSED CONTOURS
	CHISEL CROSS SET		EXISTING FORCEMAIN SEWER
	COUNTY MONUMENT		EXISTING SANITARY SEWER
	CONCRETE MONUMENT FOUND		PROPOSED SANITARY SEWER
	CONTROL POINT HORIZONTAL		EXISTING WATER MAIN
	VERTICAL BENCHMARK		PROPOSED WATER MAIN
	SB or MW SOIL BORING or MONITORING WELL		EXISTING STORM SEWER
	POWER POLE		PROPOSED STORM SEWER
	POWER POLE W/GUY WIRE		EXISTING CURB & GUTTER
	TELEPHONE OR TELEVISION PEDESTAL		PROPOSED CURB & GUTTER
	MAILBOX		PROPOSED REJECT CURB & GUTTER
	SIGN		EXISTING CULVERT WITH END SECTIONS
	RAILROAD CROSS BUCK		PROPOSED CULVERT WITH END SECTIONS
	RAILROAD GATE ARM		BUILDING OUTLINE
	RAILROAD TRACKS		FENCE LINE
	LIGHT POLE		SAW CUT REQ'D
	WOOD POLE		SILT FENCE
	TRAFFIC SIGNAL		GUARD RAIL
	TRAFFIC SIGNAL MAST ARM		DITCH CHECK
	CONIFEROUS TREE		INLET PROTECTION
	DECIDUOUS TREE		TRACKING PAD
	TREE OR BRUSH LINE		TURBIDITY BARRIER OR SHEET PILING
	BED ROCK (IN PROFILE VIEW)		SANDBAG COFFERDAM
	HANDICAPPED PARKING STALL		SLOPE INTERCEPT
	EXISTING SPOT ELEVATION		LIMITS OF DISTURBANCE
	PROPOSED SPOT ELEVATION		
	DRAINAGE HIGH POINT		ASPHALT PAVEMENT
	DRAINAGE DIRECTION		
	EXISTING MANHOLE		CONCRETE SIDEWALK/DRIVEWAY
	PROPOSED MANHOLE		
	EXISTING INLET		GRAVEL
	PROPOSED INLET		
	EXISTING YARD DRAIN		RIP-RAP (SIZE AS SPECIFIED)
	PROPOSED YARD DRAIN		
	EXISTING CLEAN OUT		BRICK/PAVERS
	PROPOSED CLEAN OUT		
	EXISTING DOWNSPOUT		PROPOSED EROSION MAT
	PROPOSED DOWNSPOUT		
	EXISTING WATER VALVE		PROPOSED ASPHALTIC DRIVEWAY
	PROPOSED WATER VALVE		
	EXISTING CURB STOP		
	PROPOSED CURB STOP		
	EXISTING FIRE HYDRANT		
	PROPOSED FIRE HYDRANT		
	PROPOSED WATER FITTING		
	PROPOSED WATER REDUCER		
	PROPOSED ENDCAP		
	GAS VALVE		

EROSION & SEDIMENT CONTROL PLAN

BEST MANAGEMENT PRACTICES:

THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, MAINTAINING AND REMOVING BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS. THESE STANDARDS MAY BE FOUND ON THE DNR WEBSITE AT <http://www.dnr.wis.gov/runoff/stormwater/techstds.htm>. RIP-RAP SHALL BE IN ACCORDANCE WITH SECTION 606, WS-DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, UNTIL TECHNICAL STANDARD 1065 IS COMPLETED BY THE DNR. THE MINIMUM BEST MANAGEMENT PRACTICES SPECIFIED FOR THIS PROJECT ARE AS FOLLOWS:

[] LAND APPLICATION OF ADDITIVES (1050)	[] DE-WATERING (1061)
[] WATER APPLICATION OF ADDITIVES (1051)	[] DITCH CHECK (1062)
[X] NON-CHANNEL EROSION MAT (1052)	[] SEDIMENT TRAP (1063)
[] CHANNEL EROSION MAT (1053)	[] SEDIMENT BASIN (1064)
[X] VEGETATIVE BUFFER (1054)	[] RIP-RAP (1065)
[] SEDIMENT BALE BARRIER (1055)	[] CONSTRUCTION DIVERSION (1066)
[X] PERIMETER SEDIMENT CONTROL (1056)	[X] TEMPORARY GRADING PRACTICES (1067)
[X] TRACKOUT CONTROL (1057)	[X] DUST CONTROL (1068)
[X] MULCHING (1058)	[X] TURBIDITY BARRIER (1069)
[X] SEEDING (1059)	[] SILT CURTAIN (1070)
[X] STORM DRAIN INLET PROTECTION (1060)	[] HORIZONTAL DIRECTIONAL DRILLING (1072)

THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND IMPLEMENT BEST MANAGEMENT PRACTICES TO PREVENT OR REDUCE ALL OF THE FOLLOWING IN RUNOFF:

- A. DEPOSITION OR TRACKING OF SOIL ONTO STREETS BY VEHICLES.
- B. DISCHARGE OF SEDIMENT INTO STORM WATER INLETS.
- C. DISCHARGE OF SEDIMENT INTO ADJACENT STREAMS, RIVERS, LAKES AND WETLANDS.
- D. DISCHARGE OF SEDIMENT FROM DITCHES AND STORM SEWERS THAT FLOW OFFSITE.
- E. DISCHARGE OF SEDIMENT FROM DEWATERING ACTIVITIES.
- F. DISCHARGE OF SEDIMENT FROM SOIL STOCKPILES EXISTING FOR 7 DAYS OR MORE.
- G. DISCHARGE OF SEDIMENT FROM EROSION OUTLET FLOWS.
- H. DISCHARGE OF CHEMICALS, CEMENT AND BUILDING MATERIALS.
- I. DISCHARGE OF UNTREATED VEHICLE AND WHEEL WASH WATER.

THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING PREVENTATIVE MEASURES:

- A. PRESERVE EXISTING VEGETATION WHENEVER POSSIBLE.
- B. MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.
- C. MINIMIZE LAND DISTURBANCES ON SLOPES OF 20% OR MORE.
- D. MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ANY ONE TIME.
- E. DIVERT CLEAR WATER AWAY FROM EXPOSED SOILS.
- F. TEMPORARILY STABILIZE EXPOSED SOILS THAT WILL NOT BE ACTIVE FOR 14 DAYS OR MORE. USE MULCHING, SEEDING, POLYACRYLAMIDE OR GRAVELING TO STABILIZE.
- G. PERMANENTLY STABILIZE EXPOSED SOILS AS SOON AS POSSIBLE.
- H. CONTRACTOR SHALL EDUCATE ITS EMPLOYEES AND SUBCONTRACTORS ABOUT PROPER SPILL PREVENTION AND RESPONSE PROCEDURES. IF A SPILL OCCURS, THE CONTRACTOR SHALL EVACUATE THE AREA AND IMMEDIATELY NOTIFY THE LOCAL MUNICIPALITY, FIRE DEPARTMENT OR 911 EMERGENCY SYSTEM. IF NO FIRE, EXPLOSION OR LIFE / HEALTH SAFETY HAZARD EXISTS, THE NEXT STEP IS TO CONTAIN THE SPILL AND PERFORM CLEANUP. USE DRY CLEANUP METHODS, NOT WET.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING BEST MANAGEMENT PRACTICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES BY THE END OF THE WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING BEST MANAGEMENT PRACTICES TEMPORARILY REMOVED FOR CONSTRUCTION ACTIVITY AS SOON AS THOSE ACTIVITIES ARE COMPLETED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING OF TEMPORARY BEST MANAGEMENT PRACTICES AFTER CONSTRUCTION IS COMPLETE AND PERMANENT VEGETATION IS ESTABLISHED.

INSPECTION & MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING BEST MANAGEMENT PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE KEPT AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE FOLLOWING INFORMATION: DATE, TIME, AND LOCATION OF INSPECTION; NAME OF INDIVIDUAL WHO PERFORMED THE INSPECTION; AN ASSESSMENT OF THE CONDITION OF BEST MANAGEMENT PRACTICES; A DESCRIPTION OF ANY BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED; AND A DESCRIPTION OF THE PRESENT PHASE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR NOTIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING, MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%.

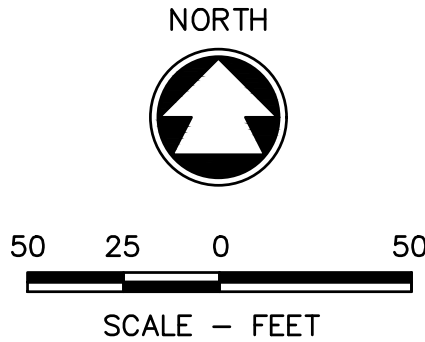
THE CONTRACTOR IS RESPONSIBLE FOR POSTING THE PERMIT IN A CONSPICUOUS LOCATION ON THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING A COPY OF THE APPROVED REPORTS, PLANS, AMENDMENTS, INSPECTION REPORTS, AND PERMITS AT THE CONSTRUCTION SITE AT ALL TIMES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE OWNER WHEN THE VEGETATIVE DENSITY REACHES AT LEAST 70%. THE OWNER IS RESPONSIBLE FOR TERMINATING DNR PERMIT COVERAGE.

AMENDMENTS:

THE CONTRACTOR IS RESPONSIBLE FOR AMENDING THE EROSION & SEDIMENT CONTROL PLAN IF THERE IS A CHANGE IN CONSTRUCTION, OPERATION OR MAINTENANCE AT THE SITE WHICH HAS THE REASONABLE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS; THE ACTIONS REQUIRED BY THE PLAN FAIL TO REDUCE THE IMPACTS OF POLLUTANTS CARRIED BY CONSTRUCTION SITE RUNOFF; OR IF THE DNR NOTIFIES THE APPLICANT OF CHANGES NEEDED IN THE PLAN. THE DNR AND OWNER SHALL BE NOTIFIED 5 WORKING DAYS PRIOR TO MAKING CHANGES TO THE PLAN.

DESIGNED R.W.J.		DRAWN R.R.S.	
PROJECT NO. D0005-06-22-00146			
DATE MARCH 10, 2023			
SHEET NO. C101		PROJECT NO. D0005-06-22-00146	

caddler, WA PROJ(ECTS) D00005 062200146 CADD Civil3D Plan Sheets C102 Existing Site & Survey Control.dwg, c102 existing site & survey control, Plot Date: 3/29/2023 10:51 AM, xrefs: (x-aerial-voyageurpark, x-all-points-voyageur-park-depere, x-



VERTICAL BENCHMARK CONTROL		
POINT #	ELEVATION	DESCRIPTION
1	592.74	DISK IN WALL OF LOCK – NGS POINT PN0624
5	596.43	CHISELED X ON FLANGE BOLT
6	594.61	"X" ON CONCRETE FLOOR AT WOMENS BATHROOM DOOR

HORIZONTAL CONTROL POINTS			
POINT #	NORTHING	EASTING	DESCRIPTION
2	544426.58	87236.88	MAG NAIL
8	544217.35	86957.07	MAG NAIL

- SITE STATISTICS:**
1. ADDRESS: 100 WILLIAM STREET
 2. PARCEL ID: ED-728
 3. OWNER: CITY OF DE PERE
 4. TOTAL AREA: 16.051 ACRES
 5. ZONING: PL-1 NEIGHBORHOOD PUBLIC & INSTITUTIONAL
 6. LOT AND BUILDING REGULATIONS:
 - A. LOT COVERAGE – NONE LISTED
 - B. OPEN SPACE – NONE LISTED
 - C. PARKING REQUIRED – NONE LISTED
 - D. FLOOR AREA RATIO – NONE LISTED

NOTE:
PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ALSO VERIFY HORIZONTAL CONTROL BY FIELD CHECKING SEVERAL CONTROL POINTS AND SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY DISCREPANCIES.

VERTICAL DATUM:
ELEVATIONS ARE REFERENCED TO NGS DATA:
CONTROL POINT NAME: 7CED
POINT ID: PN0624 NAVD 88 DATUM
BY GPS OBSERVATION TO ELEVATION = 592.74 (1991 ADJUSTMENT)
LEVEL LOOP PER FIELD BOOK 1550 PAGE 2

HORIZONTAL DATUM:
COORDINATES ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM AS PUBLISHED FOR BROWN COUNTY WISCRS NAD83 (91)

McMAHON

ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.
1446 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

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REVISION

NO.

DATE

NELSON FAMILY PAVILION

CITY OF DE PERE 100 WILLIAM ST, DE PERE, WI 54115

EXISTING SITE & SURVEY CONTROL

DESIGNED
R.J.W.

DRAWN
R.R.S.

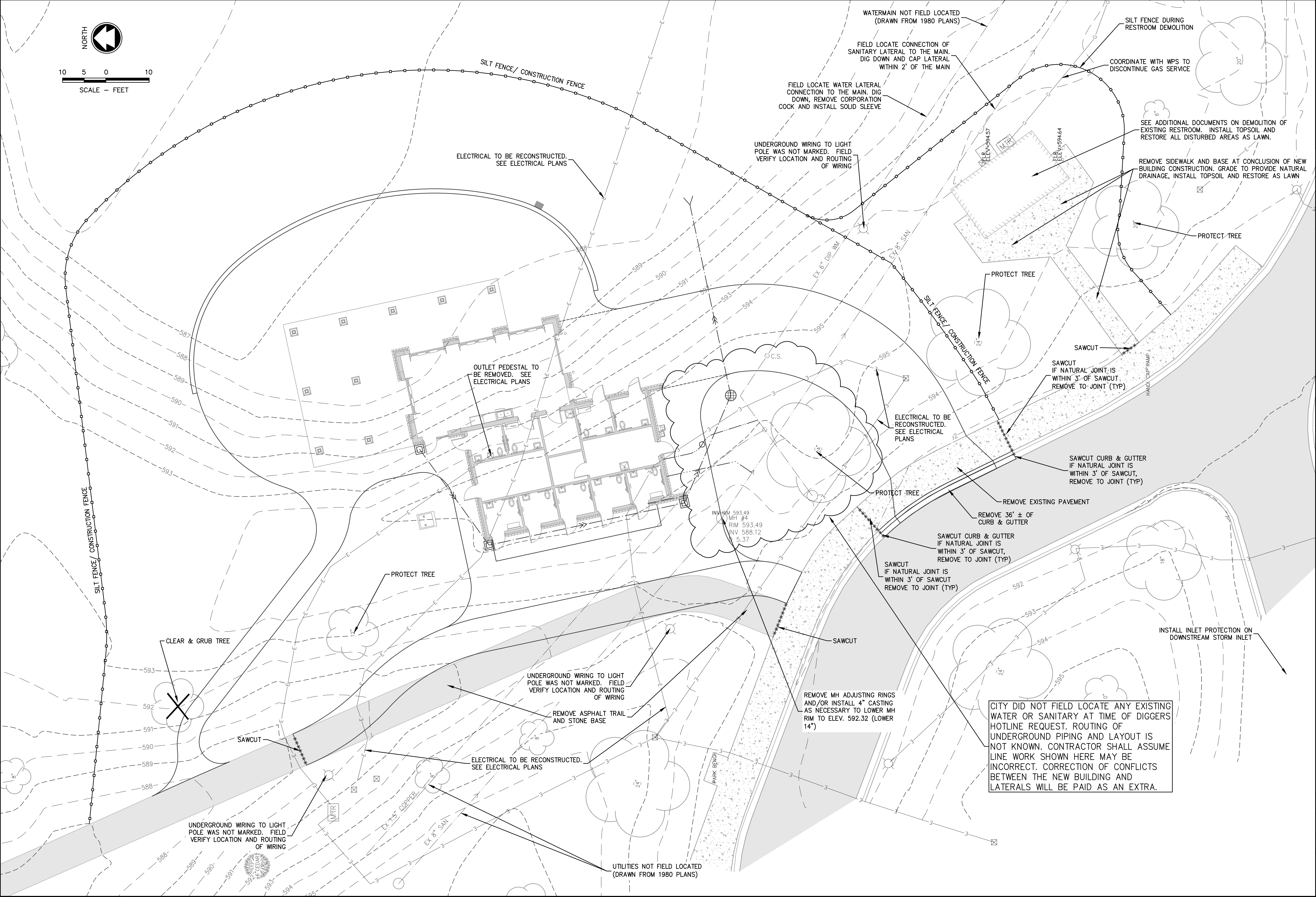
PROJECT NO.
D0005-06-22-00146

DATE
MARCH 10, 2023

SHEET NO.

C102

codler, W:\PROJECTS\00005\062200146\CADD\Civil3D\Plan Sheets\C103 SITE REMOVALS AND DEMOLITION PLAN.dwg, c103 site removals and demolition plan, Plot Date: 3/29/2023 10:51 AM, xrefs: (x-exist topo voyageur park depere, x-all points voyageur park depere, x-exist shade voyageur park depere, 062200146 nelson pavilion plumb 2022-01-1-architectural overall site plan, x-aerial-voyageurpark, x-prop info park depere)



McMAHON

ENGINEERS ARCHITECTS

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NO.	DATE	REVISION

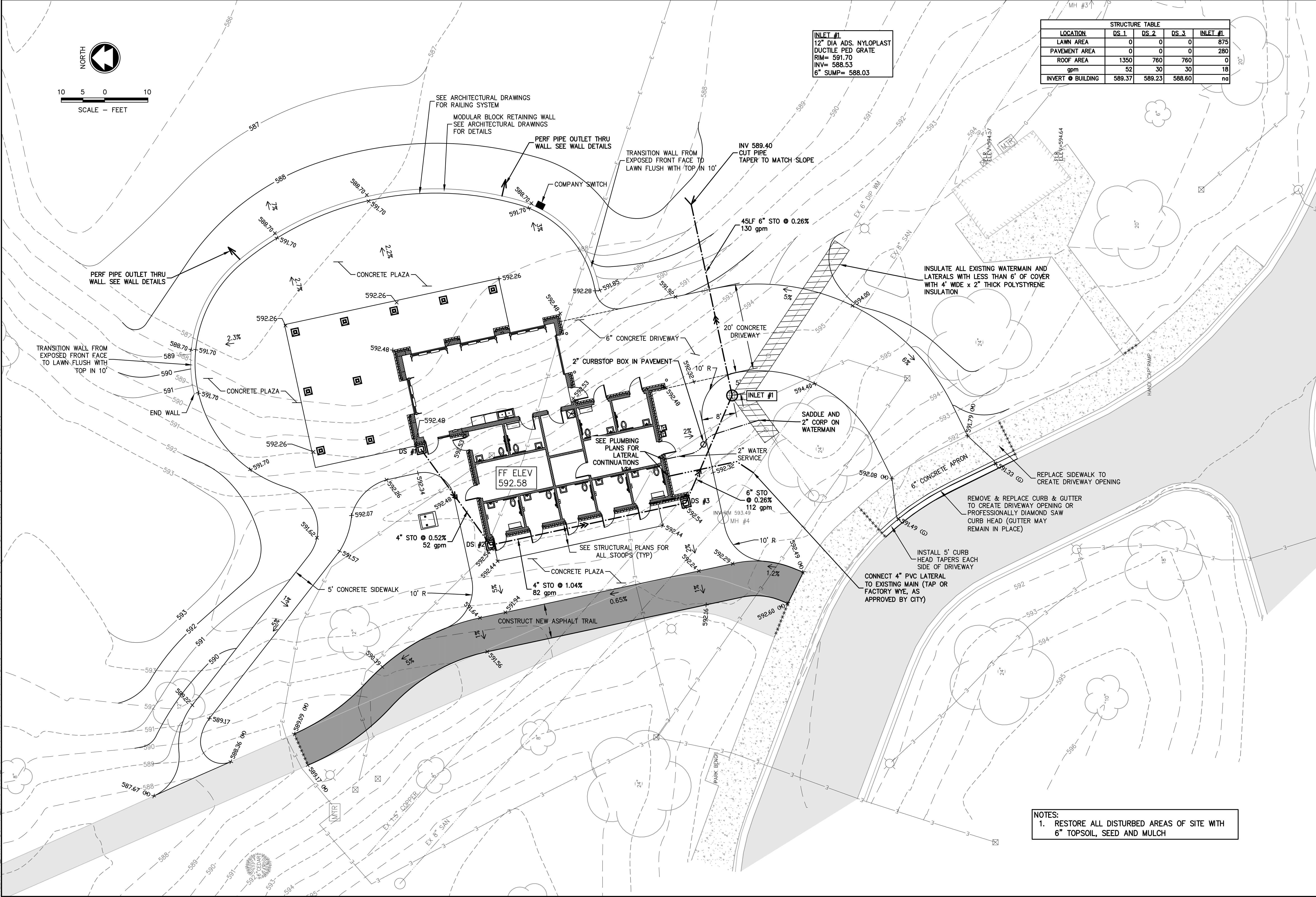
NELSON FAMILY PAVILION

CITY OF DE PERE 100 WILLIAM ST, DE PERE, WI 54115

SITE REMOVALS AND DEMOLITION PLAN

DESIGNED R.J.W.	DRAWN R.R.S.
PROJECT NO. D0005-06-22-00146	
DATE MARCH 10, 2023	
SHEET NO. C103	

codler, W:\PROJECTS\00005\062200146\CADD\Civil3D\Plan Sheets\C104 Proposed Site Plan.dwg, c104 Proposed Site Plan, Plot Date: 3/29/2023 10:52 AM, xrefs: (x-exist topo voyagueur park depere, x-all points voyagueur park depere, x-exist shade voyagueur park depere, 06/22/0146 nelson pavilion_plumb 2022.rvt--architectural overall site plan, x-aerial-voyagueurpark, x-prop info park depere, x-prop shade park depere)



NELSON FAMILY PAVILION
CITY OF DE PERE 100 WILLIAM ST, DE PERE, WI 54115
PROPOSED SITE PLAN

DESIGNED
R.J.W.

DRAWN
R.R.S.

PROJECT NO.
D0005 06-22-00146

DATE
MARCH 10, 2023

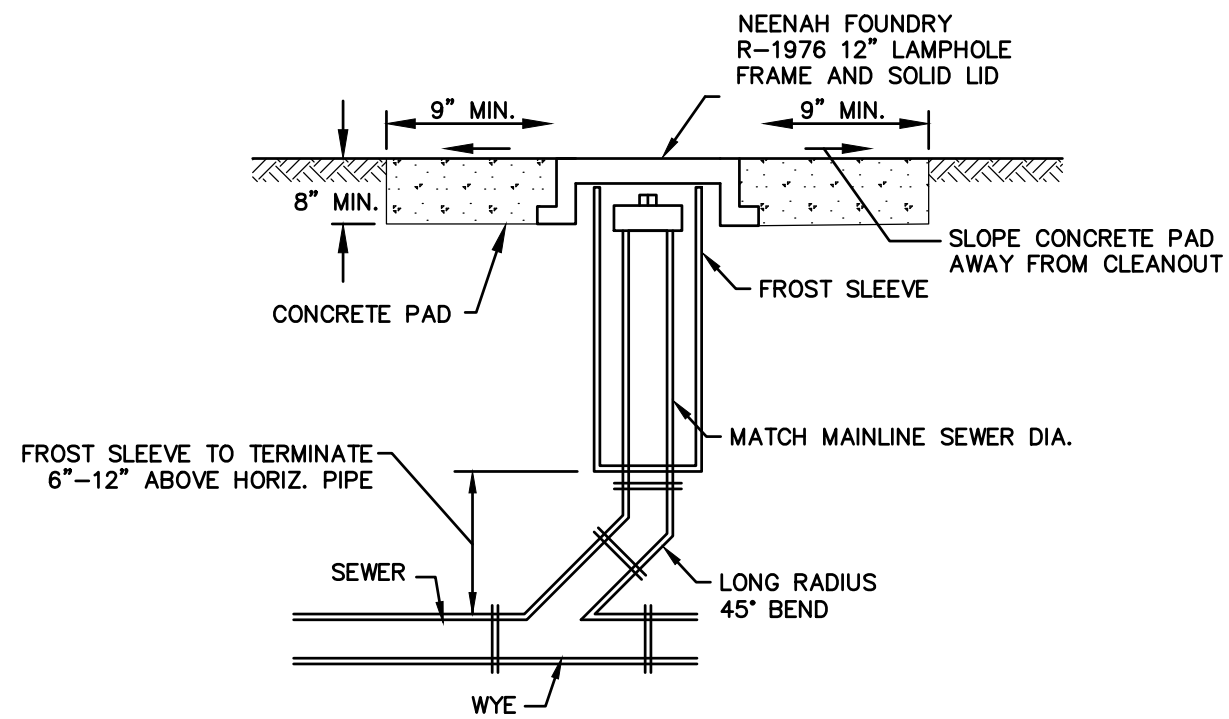
SHEET NO.
C104

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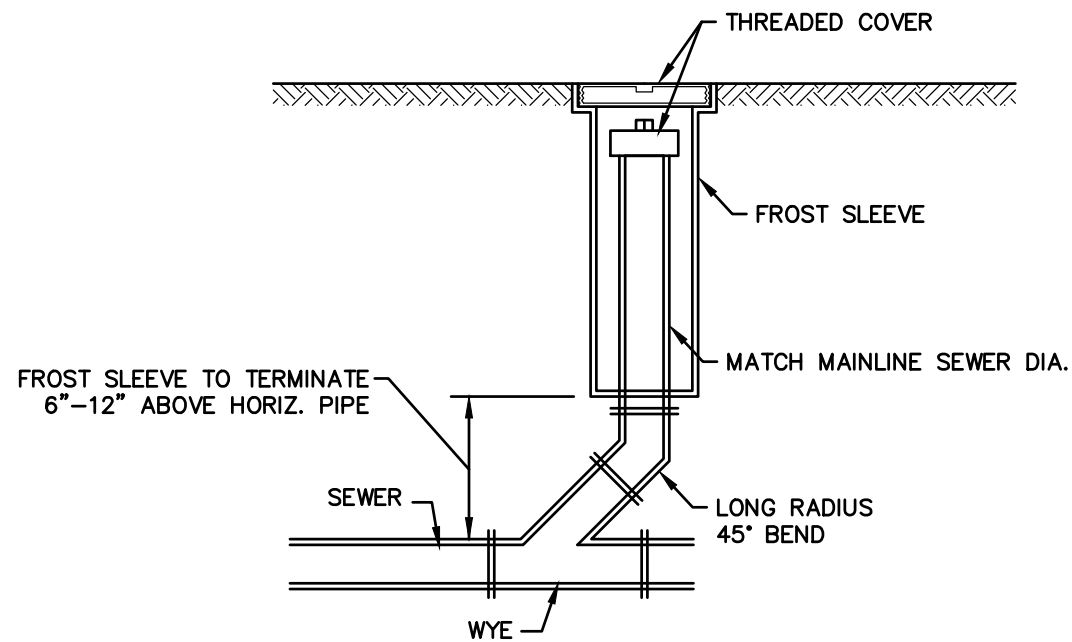
McMahon Associates, Inc.
1445 McMahon Drive Neenah, WI 54956
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McMAHON
ENGINEERS ARCHITECTS

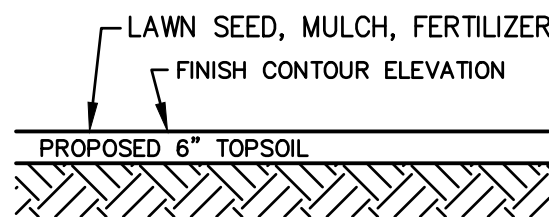
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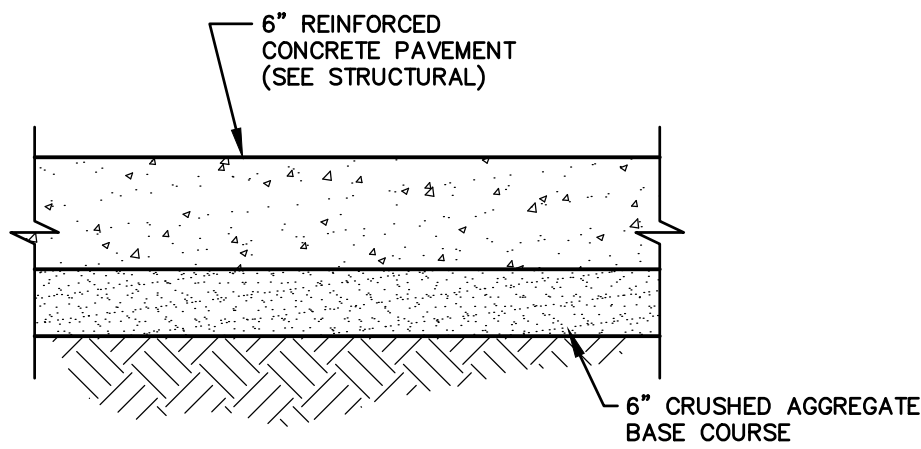
FROST SLEEVE FOR SEWER CLEANOUT IN PAVEMENT



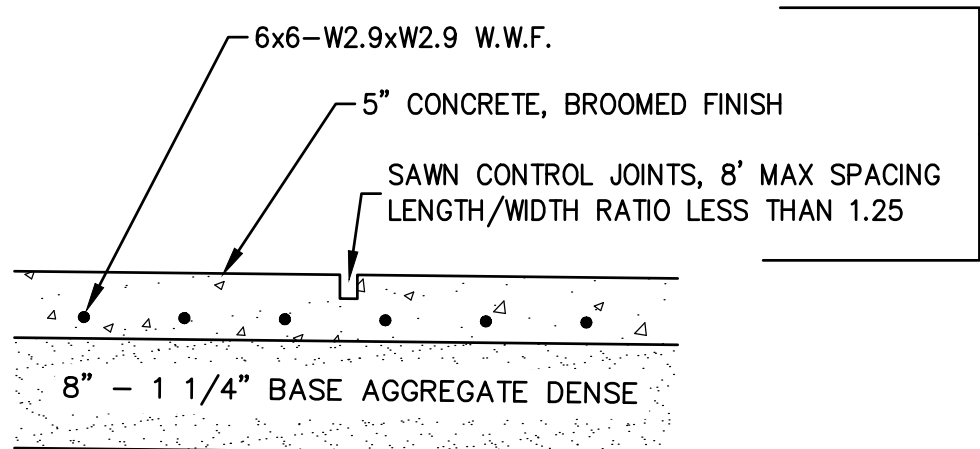
FROST SLEEVE FOR SEWER CLEANOUT IN LAWNS



TYPICAL LANDSCAPED SECTION

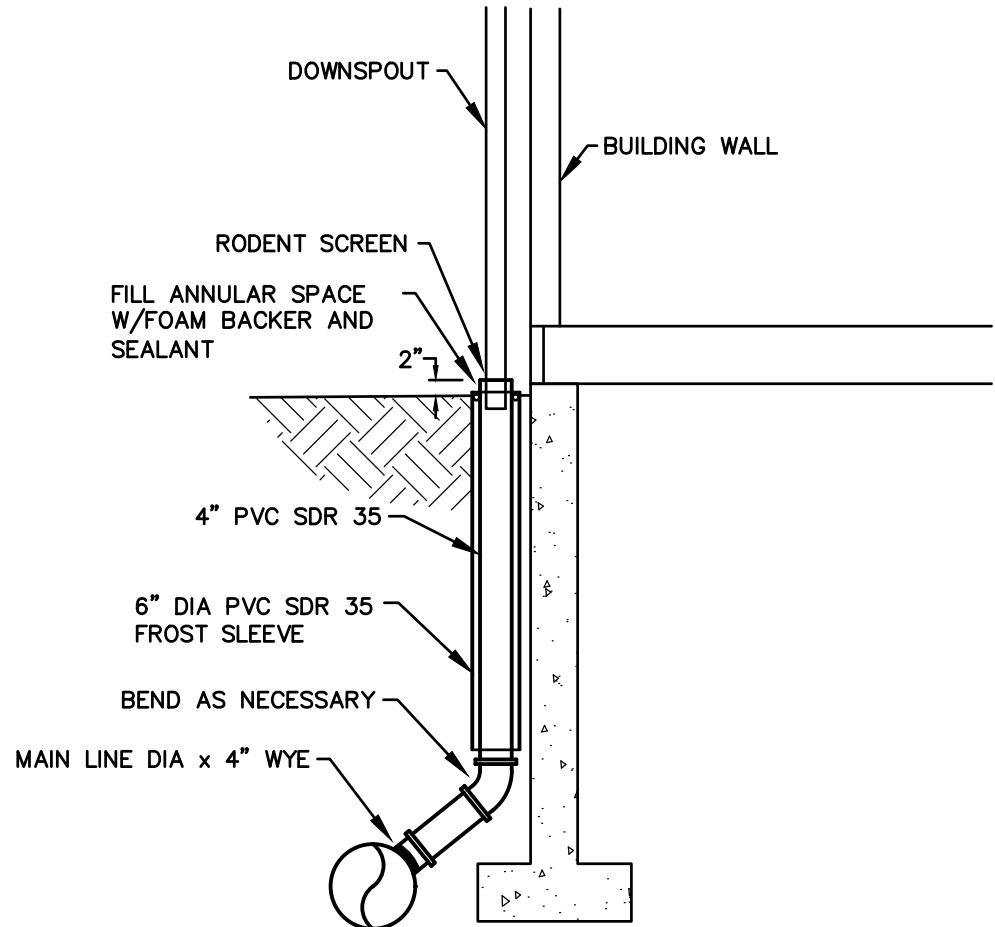


CONCRETE APRON OR DRIVEWAY DETAIL

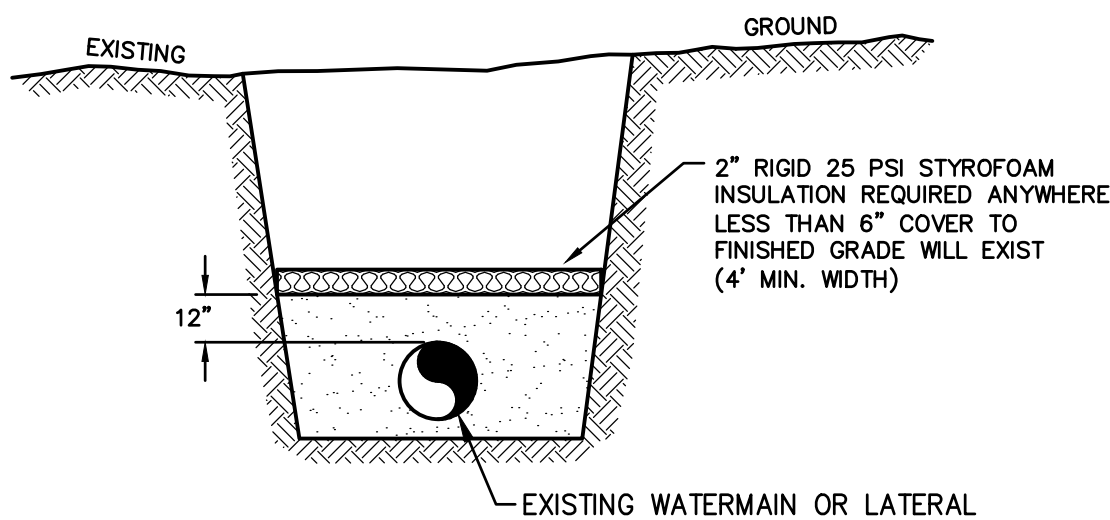


CONCRETE PLAZA DETAIL

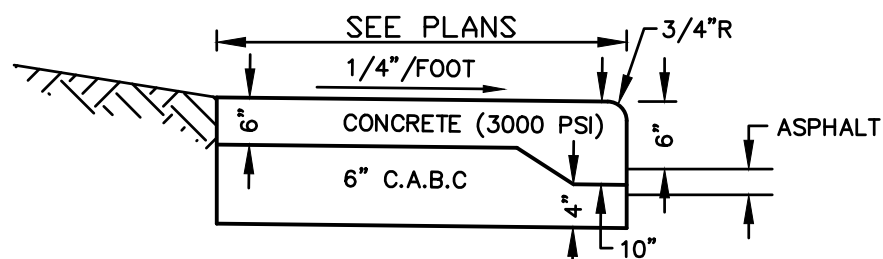
COORDINATE AND
VERIFY WITH
ARCHITECTURAL
AND STRUCTURAL
DETAILS



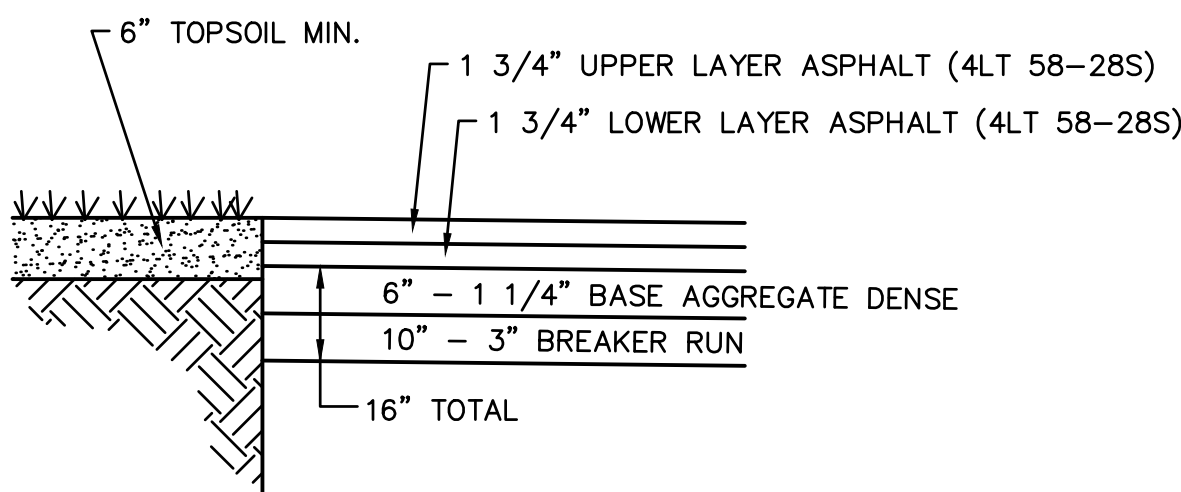
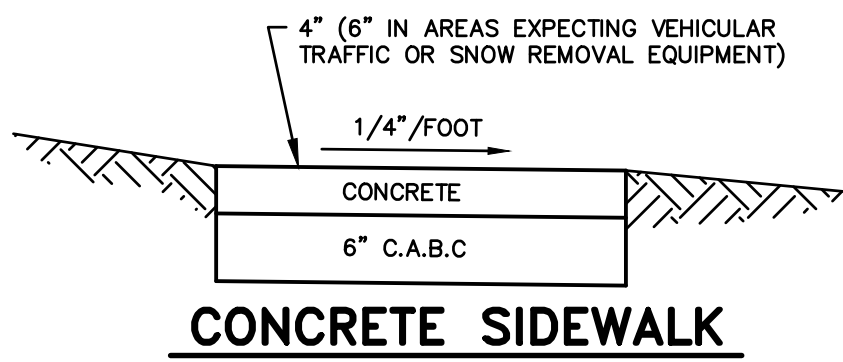
DOWNSPOUT CONNECTION



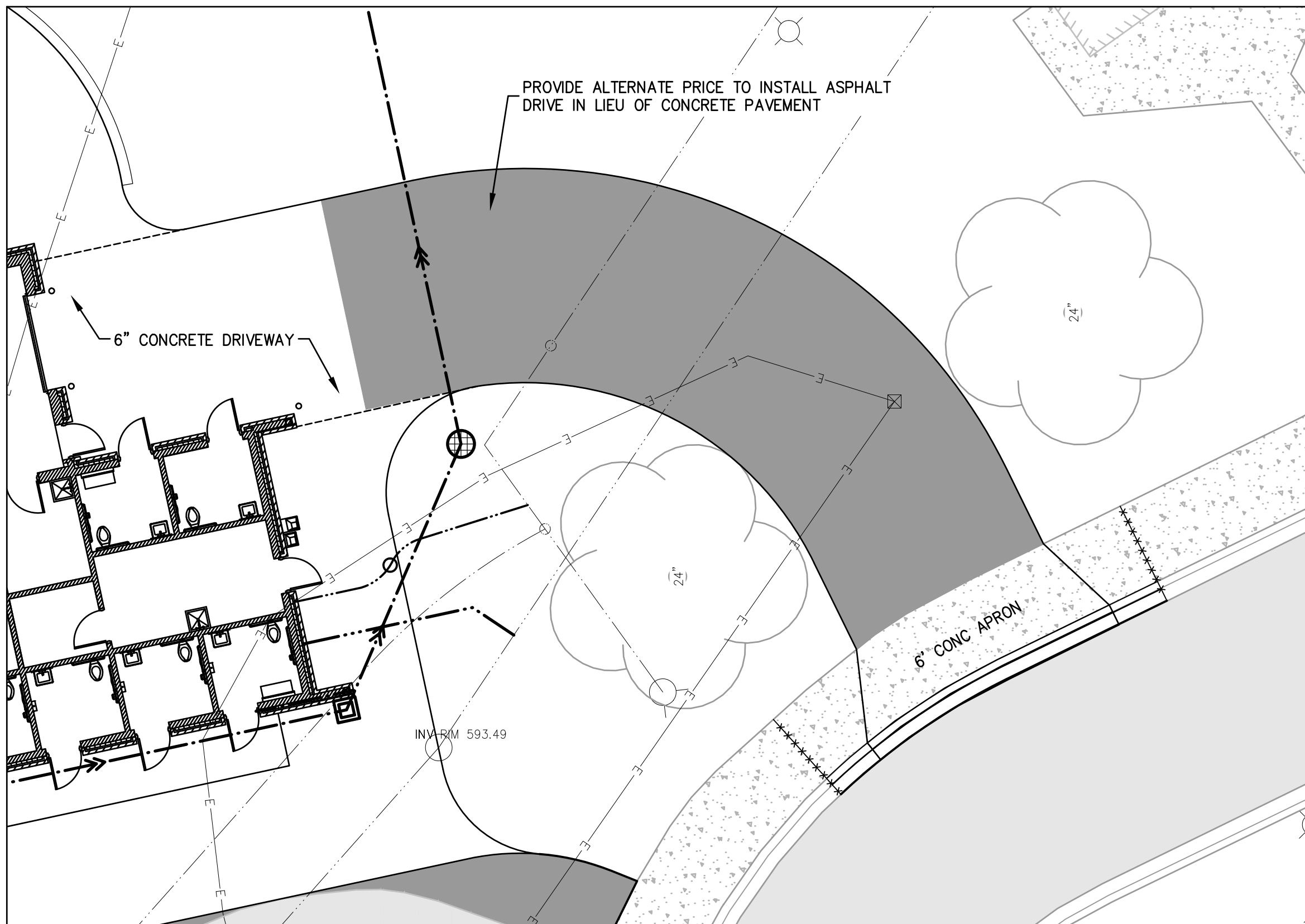
WATERMAIN INSULATION DETAIL



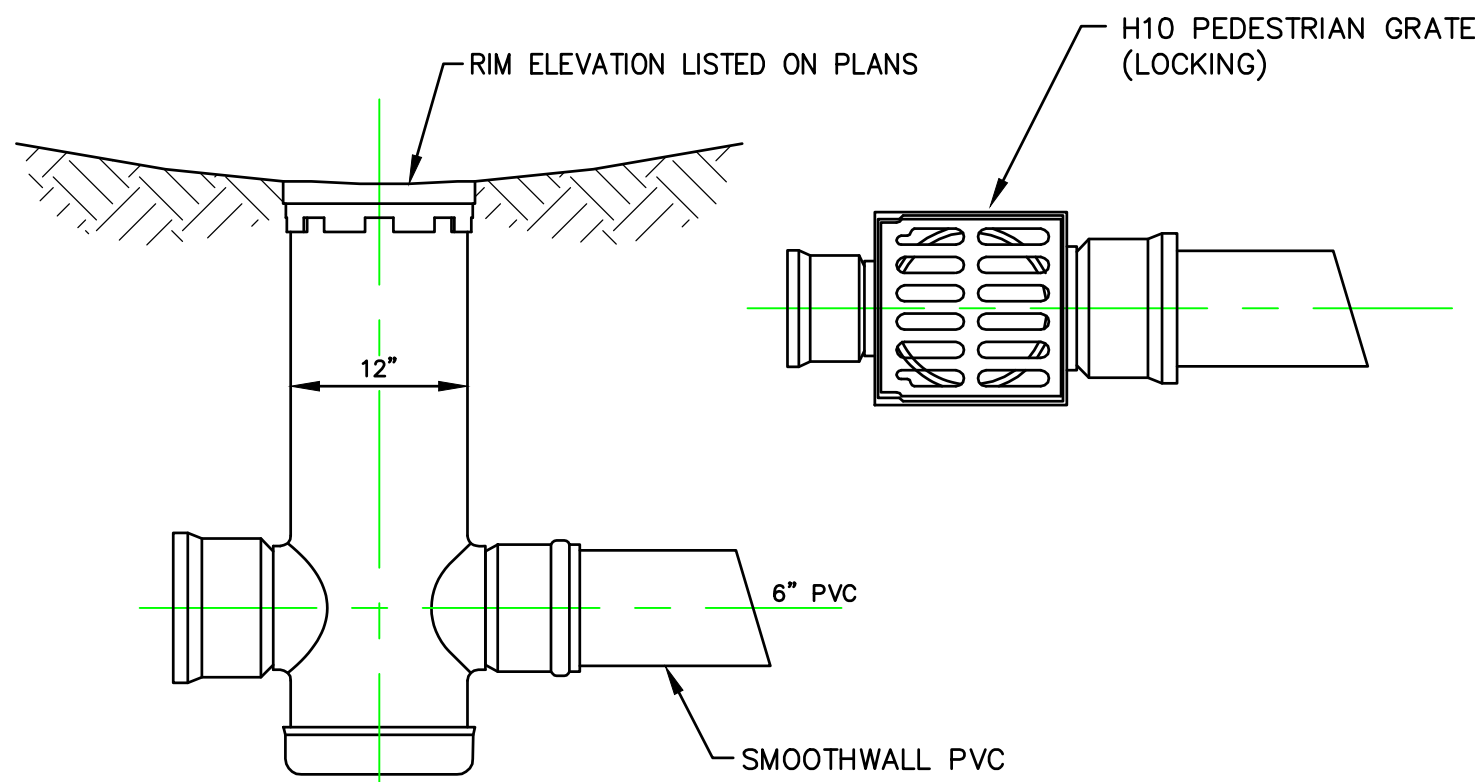
THICKENED EDGE CONCRETE SIDEWALK



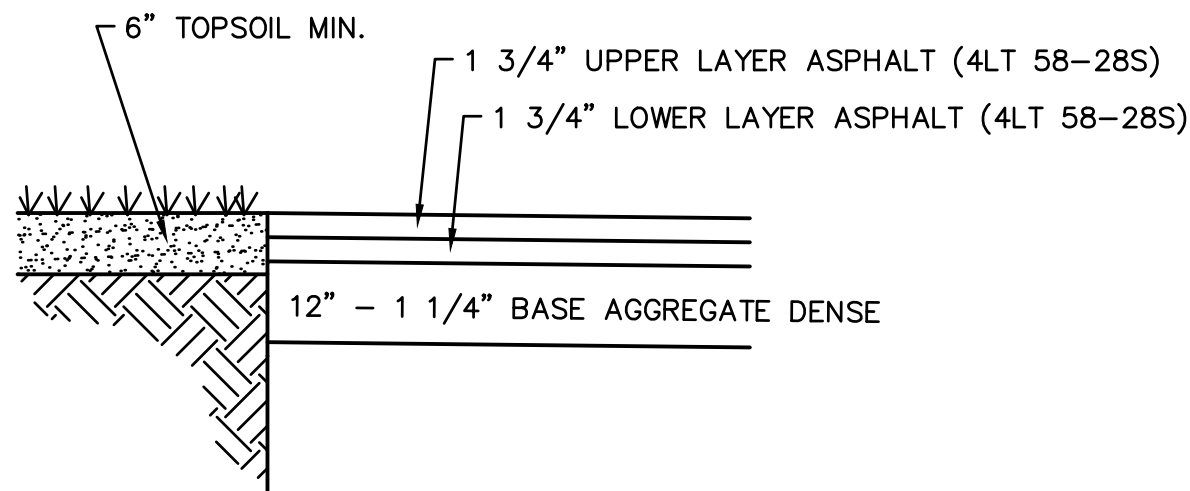
ASPHALT DRIVEWAY -ALTERNATE BID DETAIL



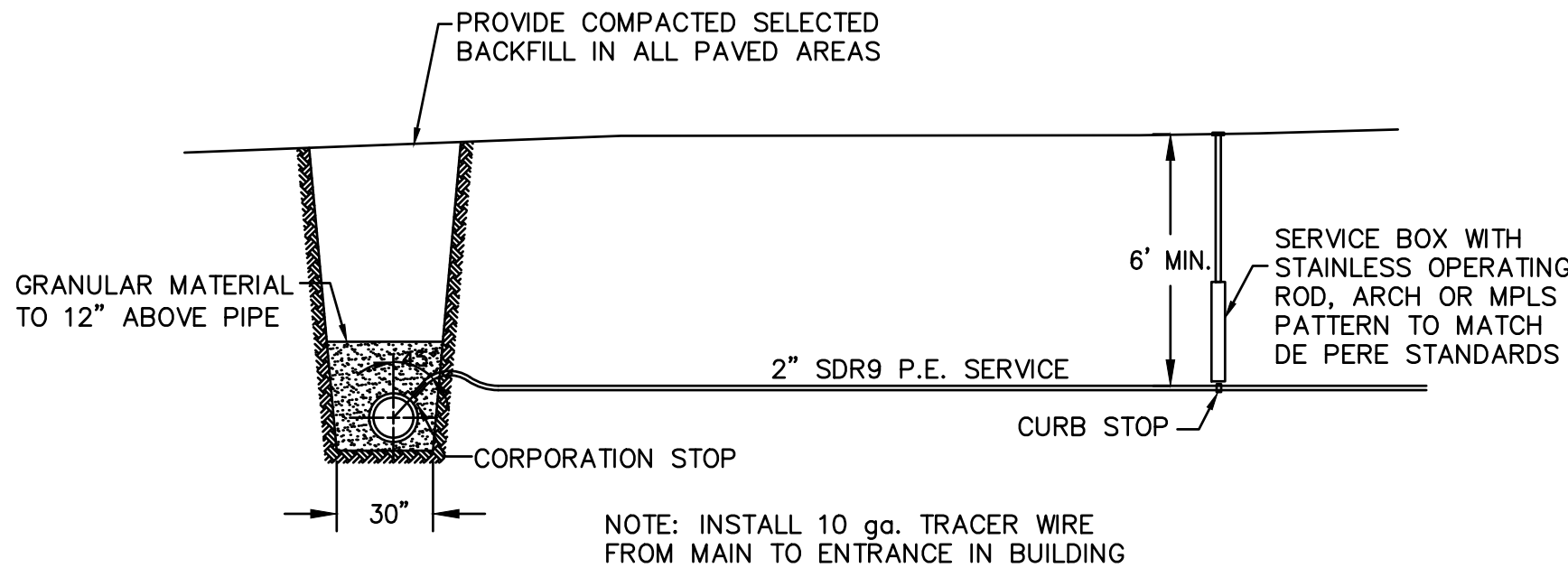
ASPHALT DRIVEWAY -ALTERNATE BID



ADS YARD DRAIN



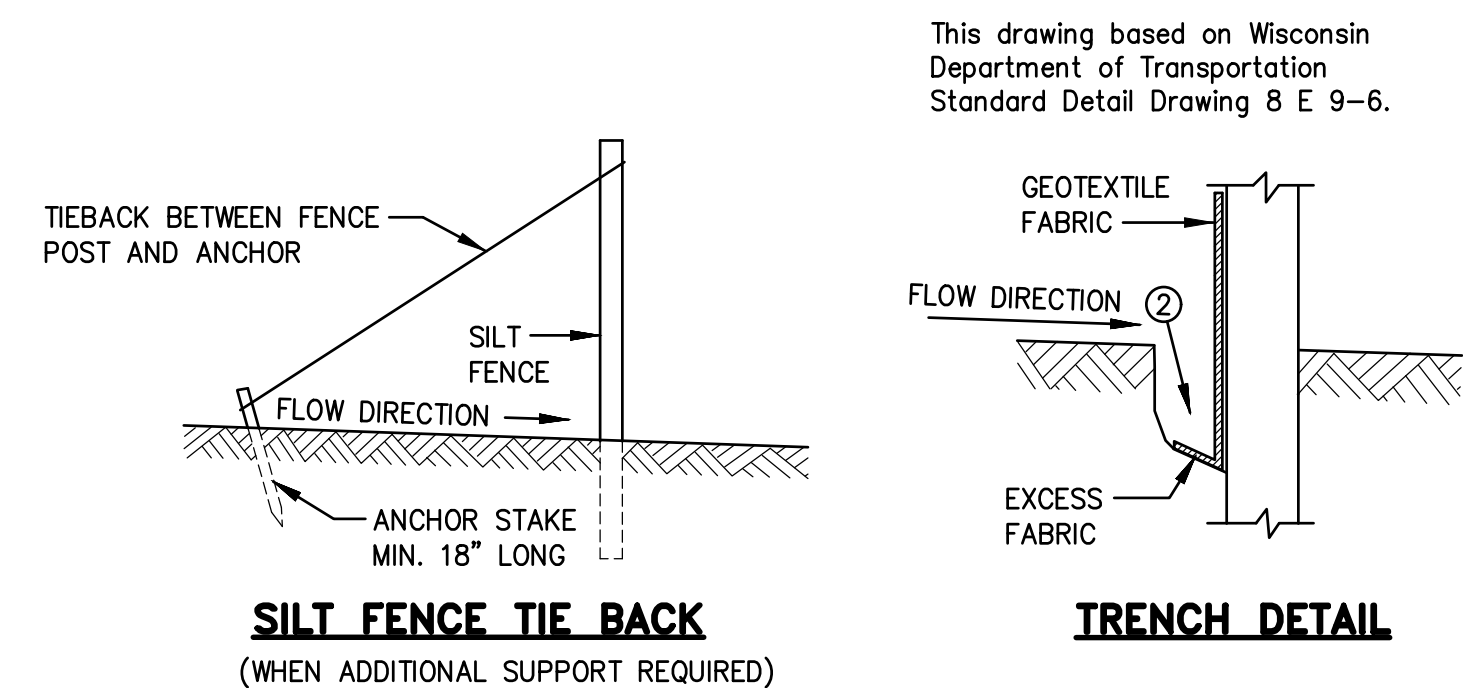
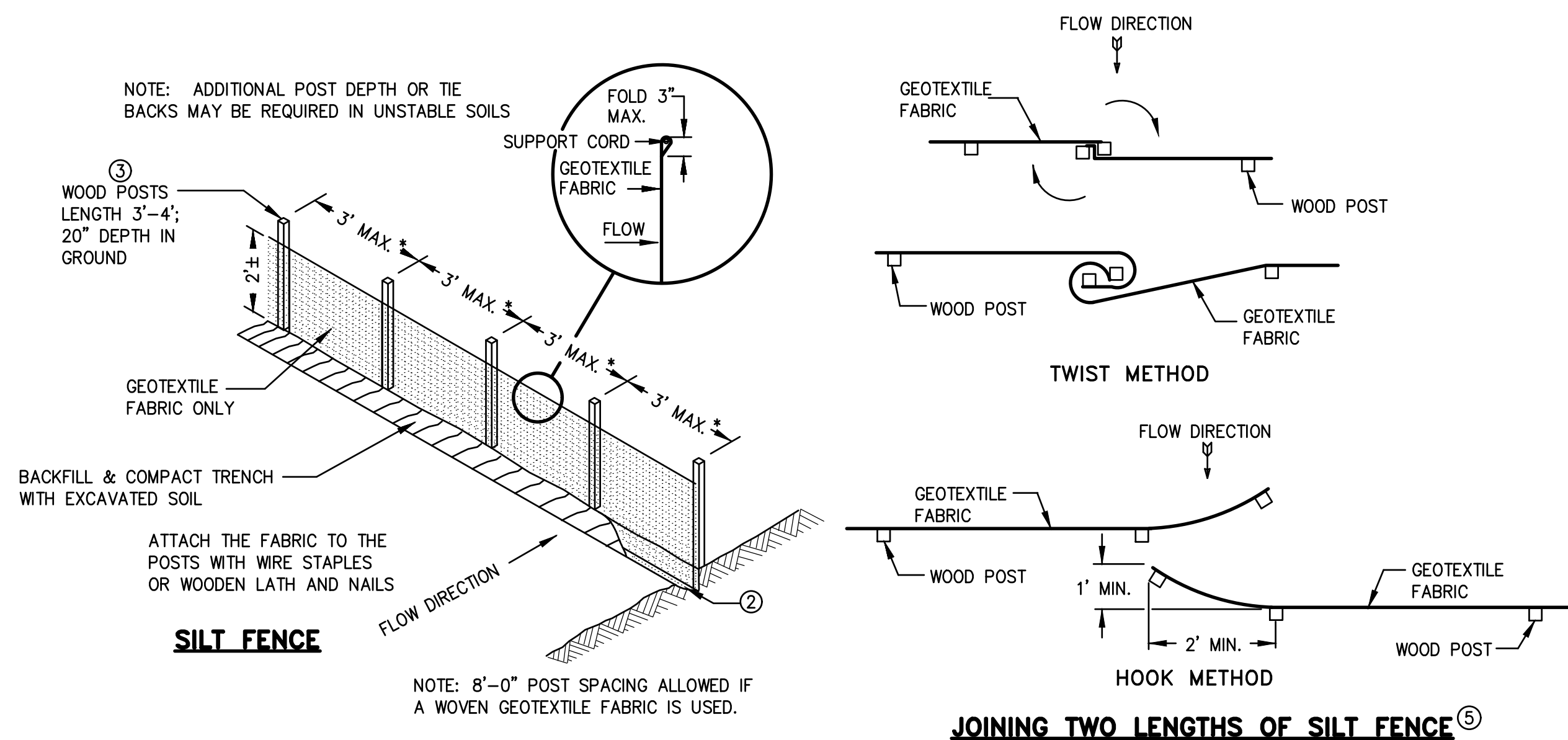
ASPHALT TRAIL



TYPICAL WATER CONNECTION

NO.	DATE	REVISION

DESIGNED RJW	DRAWN RRS
PROJECT NO. D0005-06-22-00146	
DATE MARCH 10, 2023	
SHEET NO.	



- GENERAL NOTES
- HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY
- SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS; A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.

- ## GENERAL NOTES
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
 2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.
 3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
 4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
 5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" x 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

STORM DRAIN INLET PROTECTION

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NO.	DATE	REVISION

NELSON FAMILY PAVILION
CITY OF DE PERE 100 WILLIAM ST, DE PERE, WI 54115
MISCELLANEOUS DETAILS

DESIGNED RJW	DRAWN RRS
PROJECT NO. D0005-06-22-00146	
DATE MARCH 10, 2023	
SHEET NO.	

C106



PHOTO 1



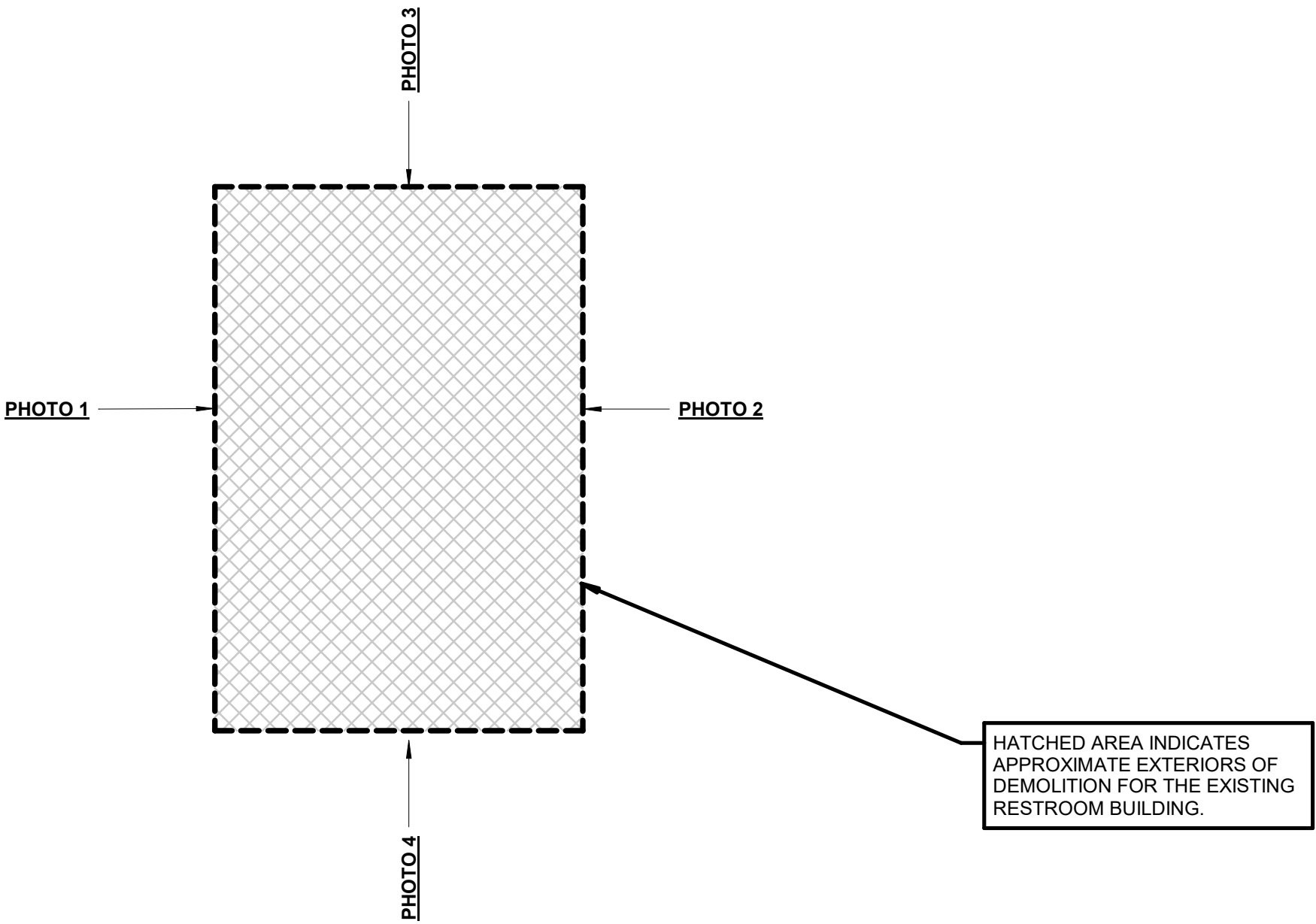
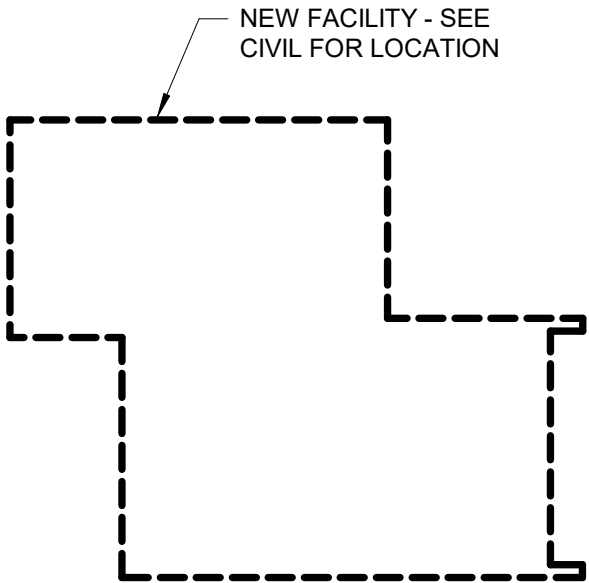
PHOTO 2



PHOTO 3



PHOTO 4



GENERAL DEMOLITION NOTES

- EXISTING BUILDING HAS BEEN SHOWN ACCORDING TO ORIGINAL BUILDING PLANS, FIELD NOTES AND MEASUREMENTS. EXISTING CONDITIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTORS AND DISCREPANCIES REPORTED TO THE ARCHITECT.
- THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL DOORS, HARDWARE, FIXTURES AND EQUIPMENT BEING REMOVED DURING DEMOLITION. COORDINATE WITH OWNER ALL EQUIPMENT TO BE SALVAGED AND/OR REUSED ON THE PROJECT.
- MAINTAIN AND PROTECT EXISTING UTILITY SERVICES TO REMAIN AND/OR TO BE OPERATIONAL DURING DEMOLITION AND CONSTRUCTION.
- ALL FIELD VERIFICATION FOR PLUMBING, MECHANICAL & ELECTRICAL DEMOLITION IS THE CONTRACTORS RESPONSIBILITY.
- SCOPE OF DEMOLITION AND REMOVAL WORK SHALL NOT BE LIMITED BY THESE DRAWINGS BUT SHALL INCLUDE ANY AND ALL WORK NECESSARY TO FACILITATE NEW CONSTRUCTION.
- CONTRACTOR TO PROTECT AREAS ADJACENT TO DEMOLITION DURING CONSTRUCTION.
- ALL SHUTDOWNS OF MECHANICAL AND/OR ELECTRICAL SYSTEMS ALL BE COORDINATED WITH OWNER.
- SEE OTHER DISCIPLINES' DRAWINGS FOR EXTENT OF ITEMS TO BE REMOVED AND SALVAGED FOR RE-USE.

DEMOLITION SCOPE OF WORK

- SEE OTHER DISCIPLINES FOR ADDITIONAL DEMOLITION WORK INCLUDING CAPPING EXISTING UTILITIES
- REMOVE AND SITE CLEAR ALL BUILDING ELEMENTS RELATED TO THE EXISTING RESTROOM BUILDING INCLUDING BUT NOT LIMITED TO: WALLS, CEILINGS, ROOF, DOORS, WIRING, LIGHTING, PLUMBING FIXTURES, SIDEWALK
- PREP AREA FOR NEW SEED. SEE CIVIL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION

NOTE: EXISTING RESTROOM TO REMAIN OPEN UNTIL OCTOBER 1ST, 2023

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NO.	DATE	REVISION

NELSON FAMILY PAVILION

CITY OF DE PERE 100 WILLIAM ST, DE PERE, WI 54115

FIRST FLOOR DEMOLITION PLAN

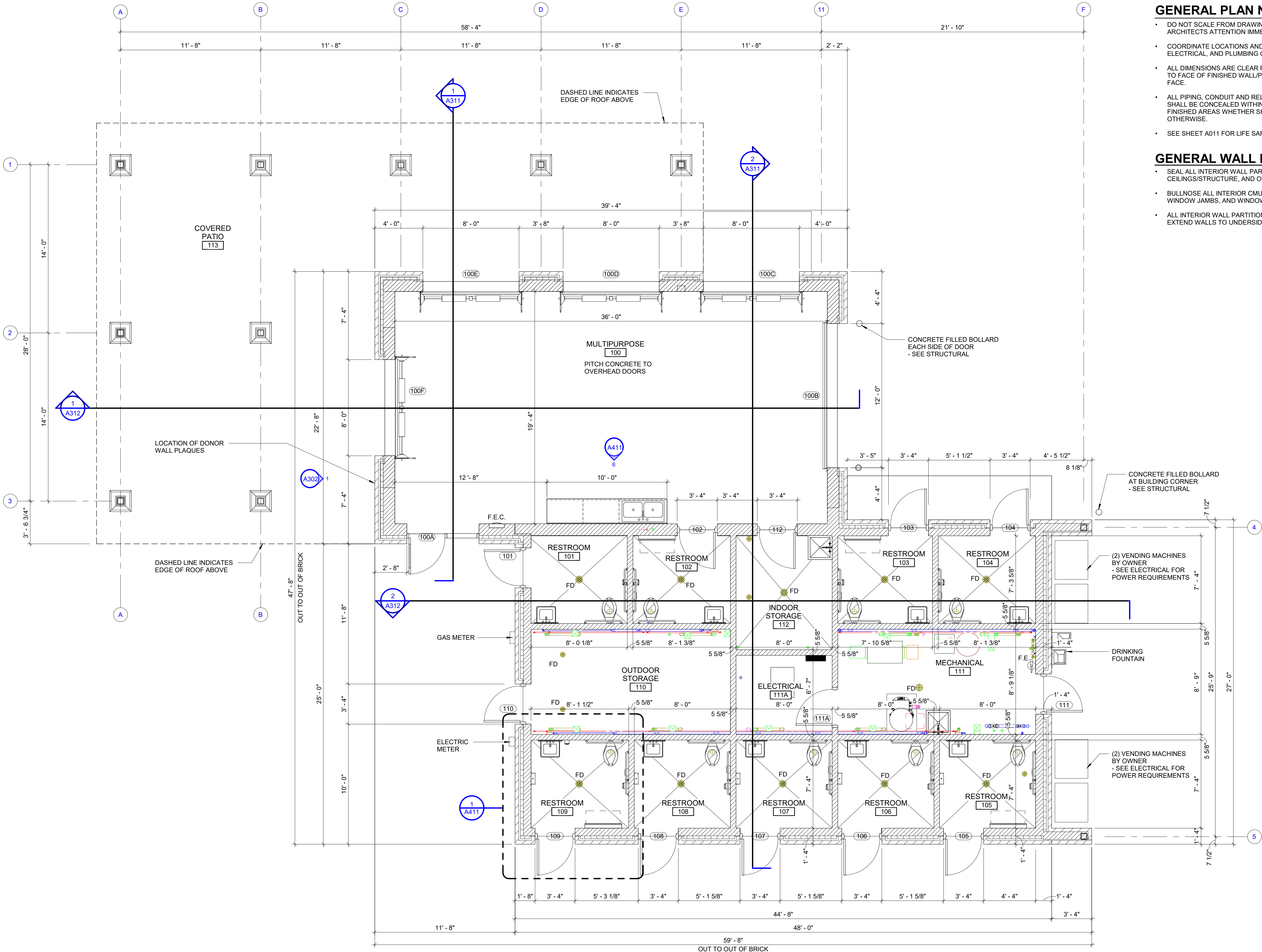
DESIGNED	DRAWN
KJC	CAW

PROJECT NO.
D0005 06-22-00146

DATE
MARCH 30 2023

SHEET NO.
A111





FIRST FLOOR PLAN

1/4" = 1'-0"

GENERAL PLAN NOTES

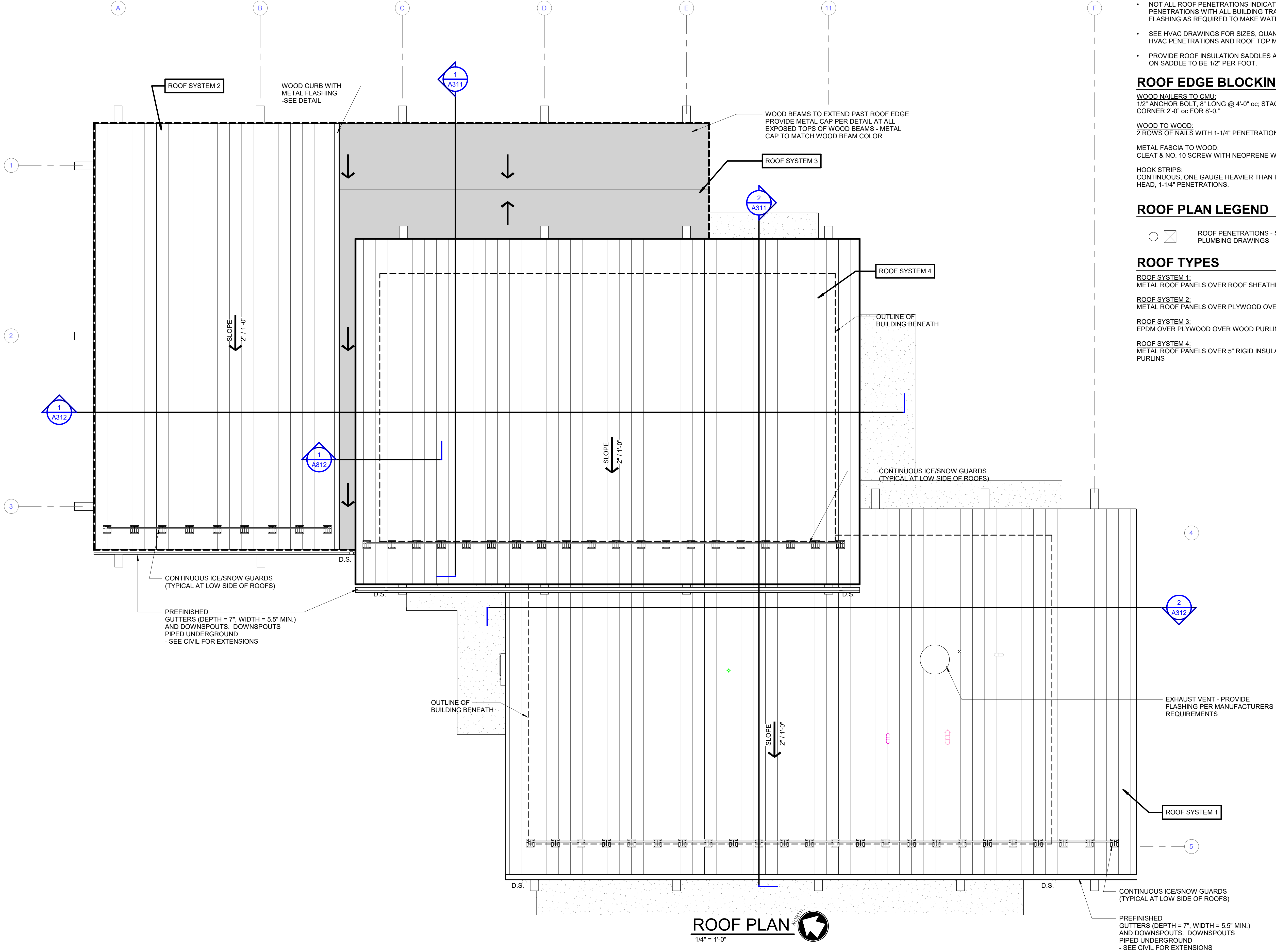
- DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO THE ARCHITECTS ATTENTION IMMEDIATELY.
- COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS.
- ALL DIMENSIONS ARE CLEAR FROM THE FACE OF FINISHED WALL/PARTITION TO FACE OF FINISHED WALL/PARTITION OR FACE OF EXISTING WALLS ACTUAL FACE.
- ALL PIPING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING AS REQUIRED IN FINISHED AREAS WHETHER SHOWN ON DRAWINGS OR NOT, UNLESS NOTED OTHERWISE.
- SEE SHEET A011 FOR LIFE SAFETY PLAN.

GENERAL WALL NOTES

- SEAL ALL INTERIOR WALL PARTITION INTERSECTIONS AT FLOORS, CEILINGS/STRUCTURE, AND OTHER WALLS WITH SEALANT.
- BULLNOSE ALL INTERIOR CMU WALLS AT OUTSIDE CORNERS, WALL ENDS, WINDOW JAMBS, AND WINDOW SILLS WHERE NO OTHER SILL IS SCHEDULED.
- ALL INTERIOR WALL PARTITIONS TO BE 6" CMU, UNLESS NOTED OTHERWISE. EXTEND WALLS TO UNDERSIDE OF STRUCTURE.

NO.	DATE	REVISION

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GENERAL ROOF PLAN NOTES

- SLOPE TAPERED INSULATION MINIMUM 1/4" PER FOOT, 2" MINIMUM THICKNESS AT DRAINS. AVERAGE ROOF INSULATION MIN. 4"
- NOT ALL ROOF PENETRATIONS INDICATED. ROOFING CONTRACTOR TO VERIFY PENETRATIONS WITH ALL BUILDING TRADES. PROVIDE APPROPRIATE FLASHING AS REQUIRED TO MAKE WATERTIGHT.
- SEE HVAC DRAWINGS FOR SIZES, QUANTITIES LOCATIONS AND TYPES OF HVAC PENETRATIONS AND ROOF TOP MOUNTED EQUIPMENT.
- PROVIDE ROOF INSULATION SADDLES AT ANY ROOF INTERFERENCES. SLOPE ON SADDLE TO BE 1/2" PER FOOT.

ROOF EDGE BLOCKING ATTACHMENT

WOOD NAILERS TO CMU:
1/2" ANCHOR BOLT, 8" LONG @ 4'-0" oc; STAGGER IF OVER 6" WIDE; AT OUTSIDE CORNER 2'-0" oc FOR 8'-0."

WOOD TO WOOD:
2 ROWS OF NAILS WITH 1-1/4" PENETRATION @ 24" oc WITH 12" oc AT CORNERS.

METAL FASCIA TO WOOD:
CLEAT & NO. 10 SCREW WITH NEOPRENE WASHER AT BACK LEG.

HOOK STRIPS:
CONTINUOUS, ONE GAUGE HEAVIER THAN FASCIA. FASTENERS; NAILS WITH 3/16" HEAD, 1-1/4" PENETRATIONS.

ROOF PLAN LEGEND

- Roof Penetrations - See Mechanical & Plumbing Drawings

ROOF TYPES

Roof System 1:
Metal roof panels over roof sheathing over wood roof truss

Roof System 2:
Metal roof panels over plywood over wood purlins

Roof System 3:
EPDM over plywood over wood purlins

Roof System 4:
Metal roof panels over 5" rigid insulation over plywood over wood purlins

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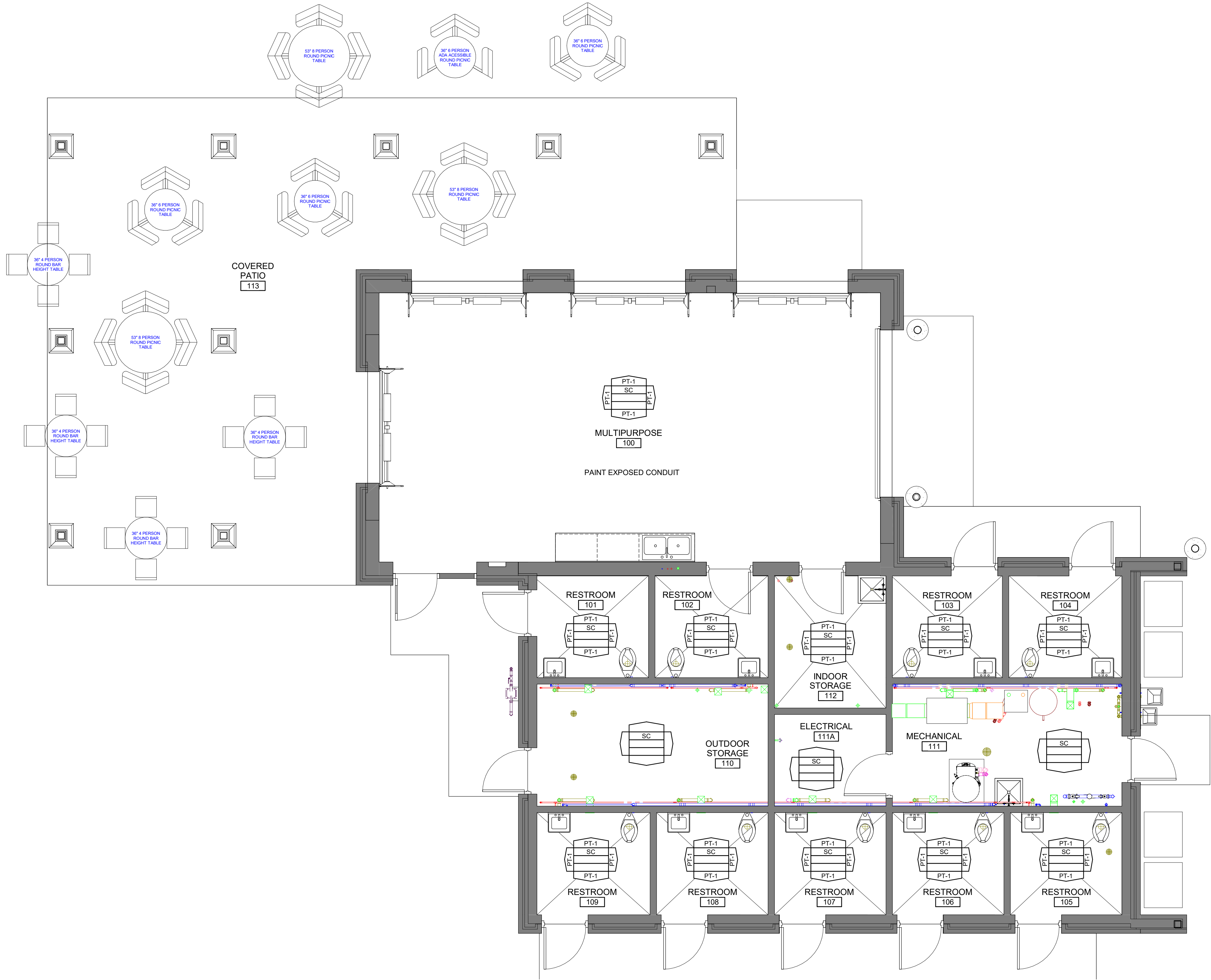
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NELSON FAMILY PAVILION

CITY OF DE PERE100 WILLIAM ST, DE PERE, WI 54115

ROOF PLAN

DESIGNED KJC	DRAWN CAW
PROJECT NO. D0005 06-22-00146	
DATE MARCH 30 2023	
SHEET NO. A231	



FIRST FLOOR FINISH PLAN

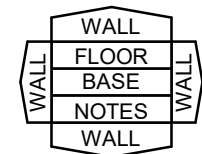
1/4" = 1'-0"



GENERAL FINISH NOTES

- SEE SPECIFICATIONS FOR SPECIFIC FINISH INFORMATION.
- PAINT ALL EXPOSED STEEL.
- SEE REFLECTED CEILING PLAN FOR CEILING FINISHES.

FINISH PLAN LEGEND



MATERIAL ABBREVIATIONS - SEE ABBREVIATIONS LIST AND SPECIFICATIONS FOR ADDITIONAL INFORMATION

ROOM FINISH ABBREVIATIONS

FLOORS

SC SEALED CONCRETE

WALLS

PT-1 PAINT: EPOXY

CABINETRY

PL1 PLASTIC LAMINATE:
PL2 PLASTIC LAMINATE:

GENERAL FURNITURE NOTES

- MADE FROM RECYCLED/PLASTIC
- FASTENERS TO BE STAINLESS STEEL
- TABLE TOPS TO BE ROUND
- COLOR TO BE DETERMINED. DESIGN INTENT IS TO MATCH THE BUILDING (BRICK COLOR). IF THIS IS NOT PART OF STANDARD COLORS CONTRACTOR TO INDICATE THIS IS NOT STANDARD.

FURNITURE TYPE AND QUANTITIES

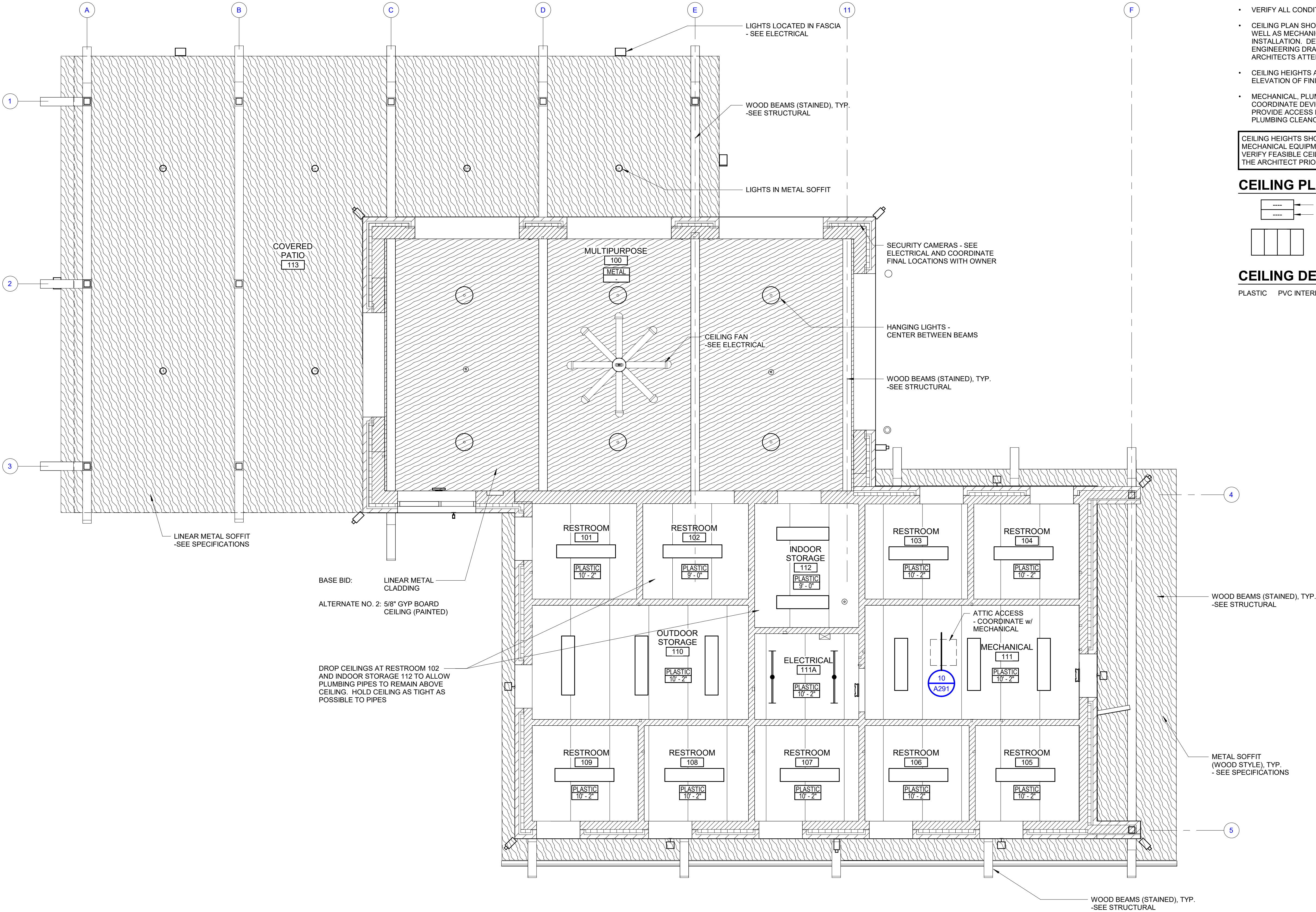
- ROUND PICNIC TABLE (SIMILAR AS SHOWN):
 - 6 PERSON TABLE (3 TOTAL)
 - 8 PERSON TABLE (3 TOTAL)
 - 6 PERSON TABLE - ACCESSIBLE (1 TOTAL)



- ROUND BAR HEIGHT TABLES (SIMILAR AS SHOWN BELOW):
 - 4 PERSON TABLE (4 TOTAL)



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FIRST FLOOR CEILING PLAN

1/4" = 1'-0"

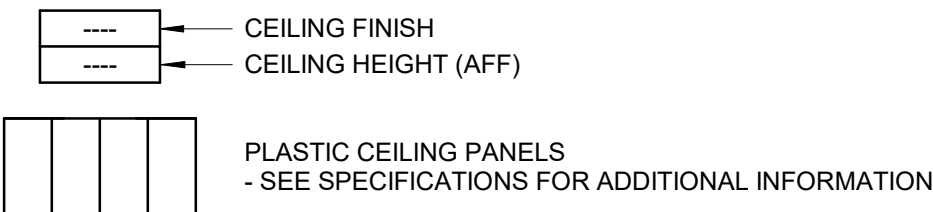


GENERAL CEILING PLAN NOTES

- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR DEVICE/FIXTURE TYPES SIZES, INSTALLATION AND SPECIFICATIONS.
- VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CEILING INSTALLATION.
- CEILING PLAN SHOWS DESIGN INTENT ONLY, REFER TO SPECIFICATIONS AS WELL AS MECHANICAL AND ELECTRICAL DRAWINGS FOR DEVICES, TYPES AND INSTALLATION. DEVICES SHOWN ON ARCHITECTURAL PLAN AND NOT ON THE ENGINEERING DRAWINGS OR SPECIFICATIONS SHOULD BE BROUGHT TO ARCHITECTS ATTENTION FOR CLARIFICATION.
- CEILING HEIGHTS ARE DIMENSIONED FROM FINISH FLOOR LINE TO DESIGN ELEVATION OF FINISHED CEILING.
- MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS SHALL COORDINATE DEVICES REQUIRING ACCESS IN NON ACCESSIBLE CEILING. PROVIDE ACCESS PANELS AS NEEDED (EXAMPLE: MECHANICAL VAV BOXES, PLUMBING CLEANOUTS, ETC.).

CEILING HEIGHTS SHOWN ARE ESTIMATES OF WHAT CAN BE ACCOMPLISHED. MECHANICAL EQUIPMENT MAY NECESSITATE A CHANGE TO THESE HEIGHTS. VERIFY FEASIBLE CEILING HEIGHTS AND DISCUSS NECESSARY CHANGES WITH THE ARCHITECT PRIOR TO INSTALLATION OF SYSTEMS ABOVE CEILING.

CEILING PLAN LEGEND



CEILING DESCRIPTIONS

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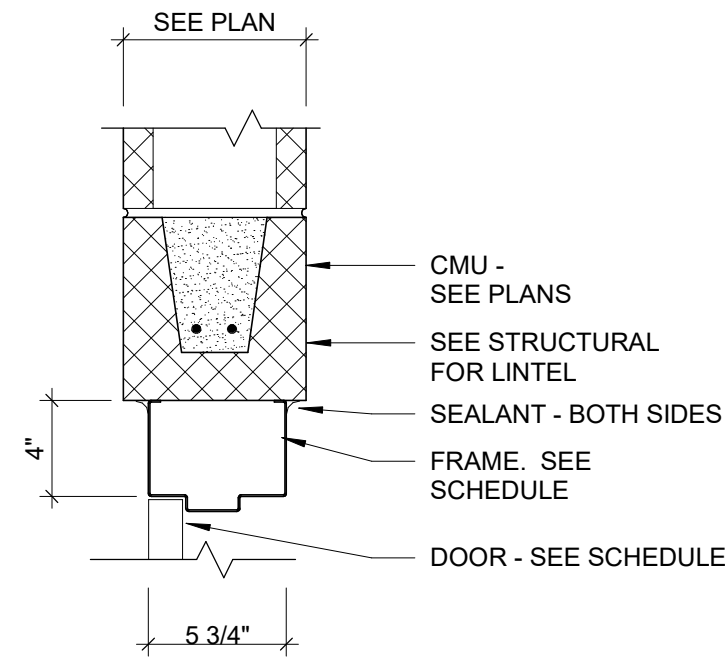
SHEET NO.

A271

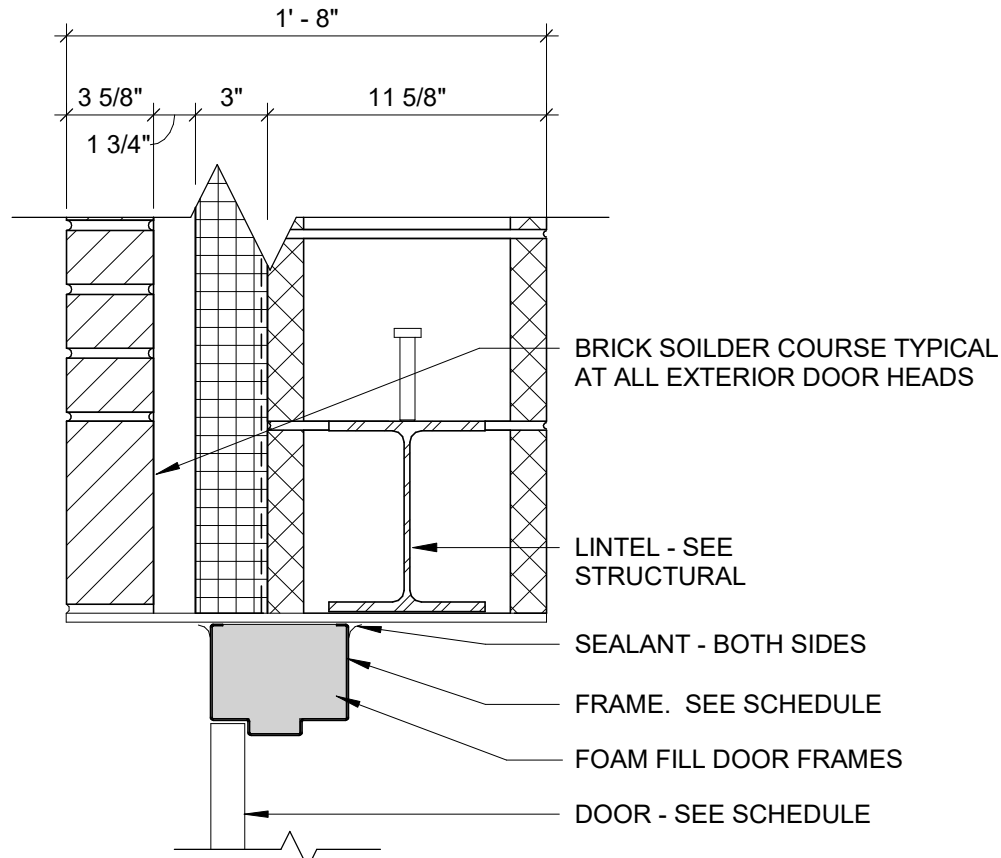
NELSON FAMILY PAVILION

CITY OF DE PERE 100 WILLIAM ST, DE PERE, WI 54115

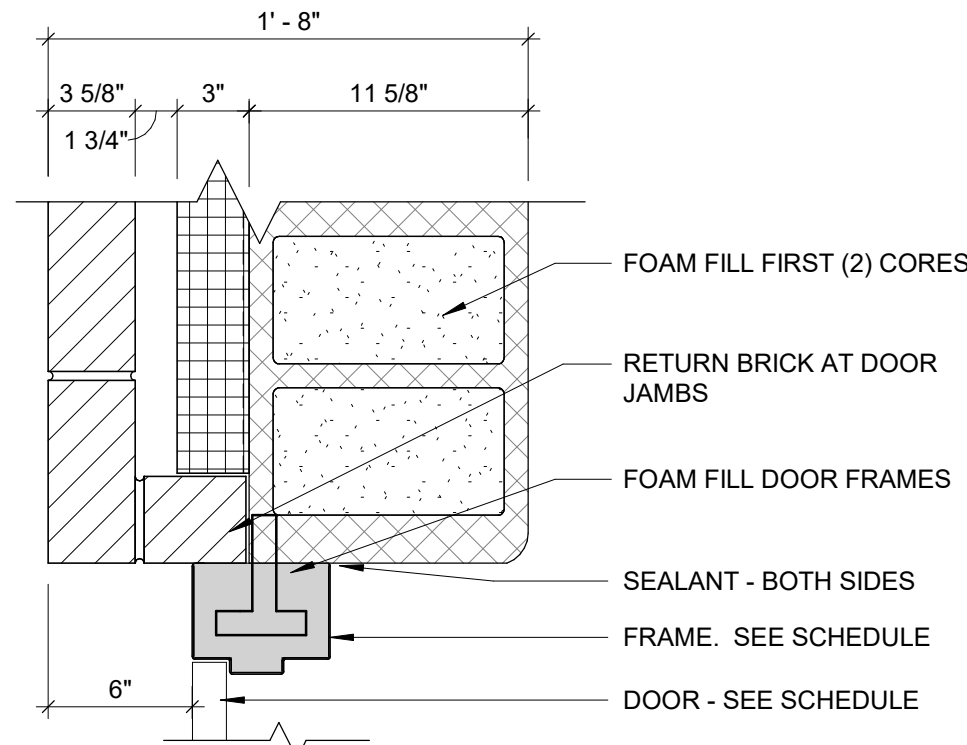
REFLECTED CEILING PLAN



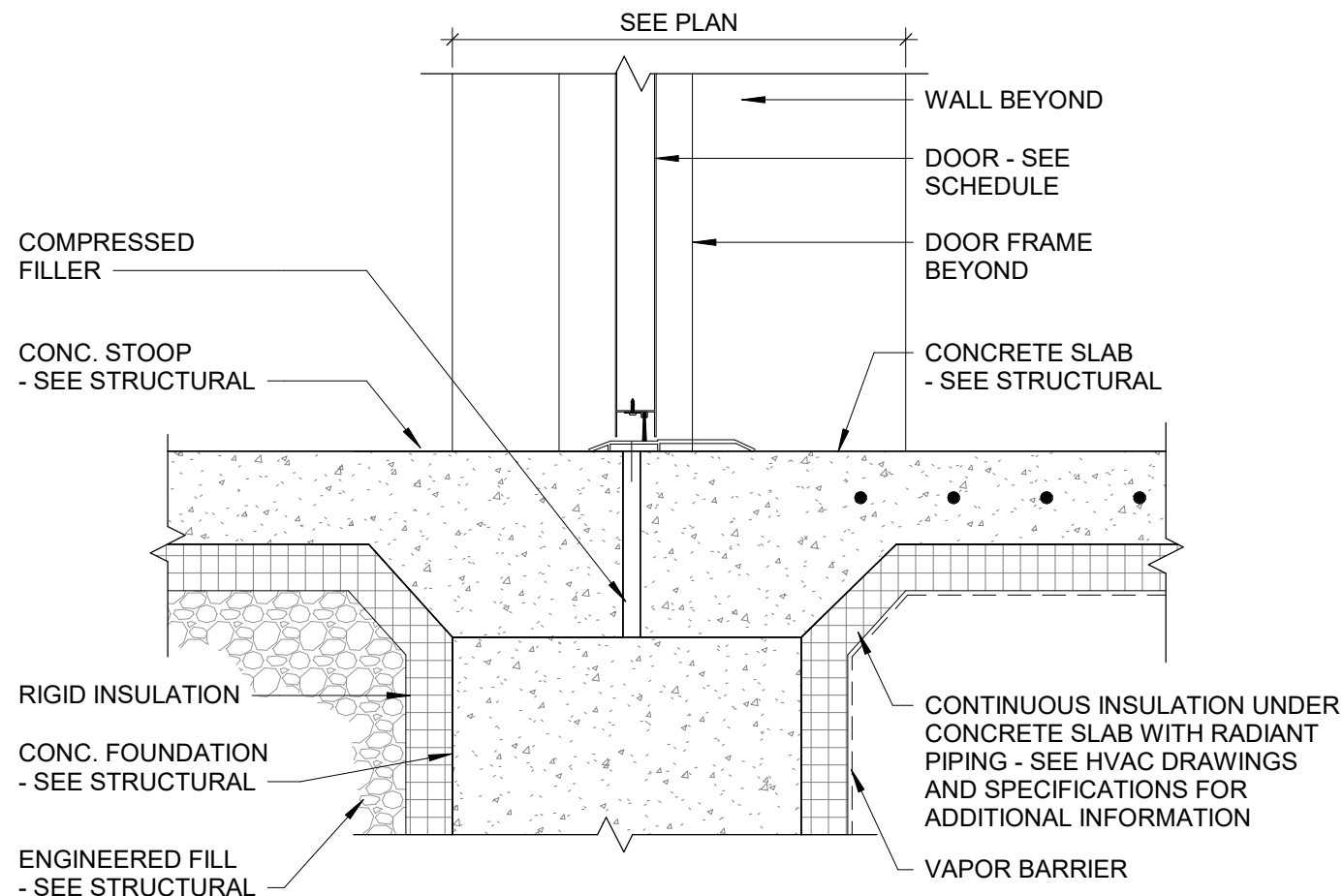
4 DOOR HEAD AT CMU (JAMB SIM.)
A291 1 1/2" = 1'-0"



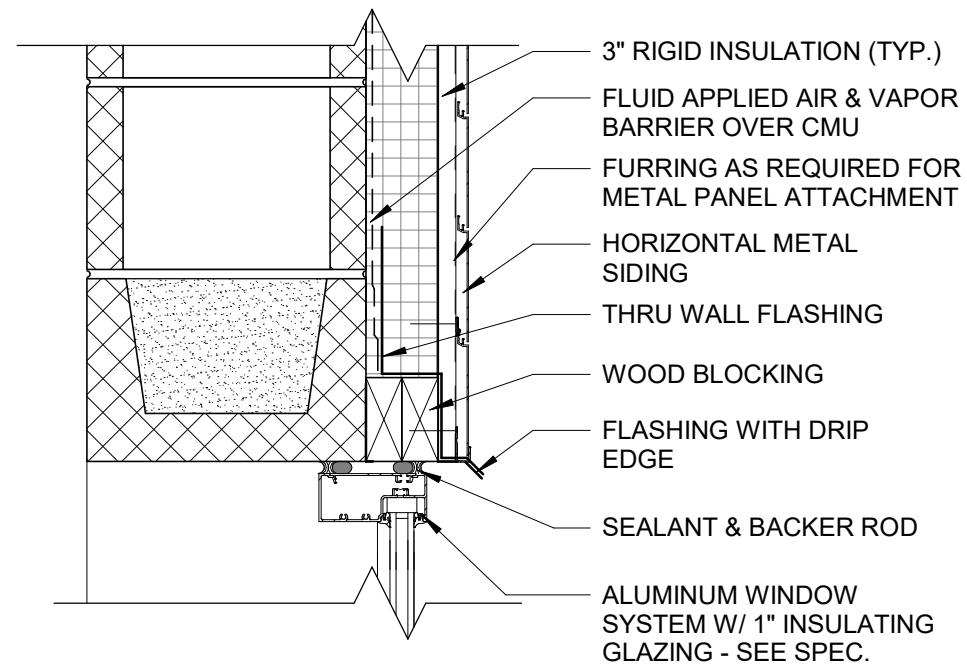
3 DOOR HEAD
A291 1 1/2" = 1'-0"



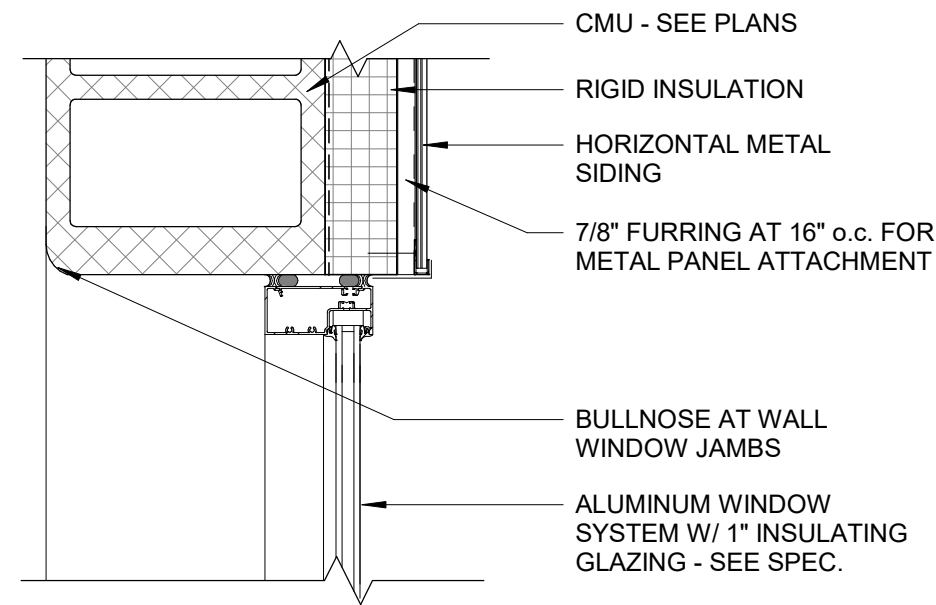
2 DOOR JAMB
A291 1 1/2" = 1'-0"



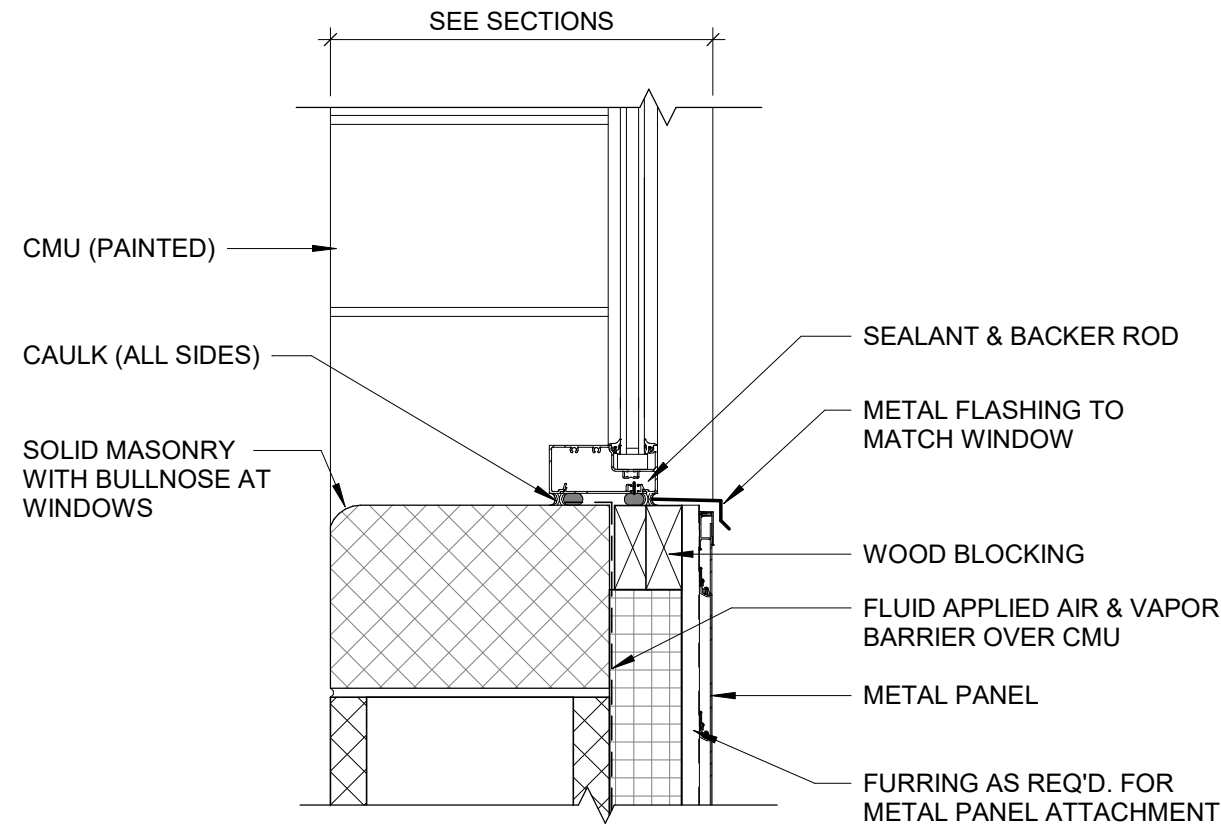
1 DOOR THRESHOLD
A291 1 1/2" = 1'-0"



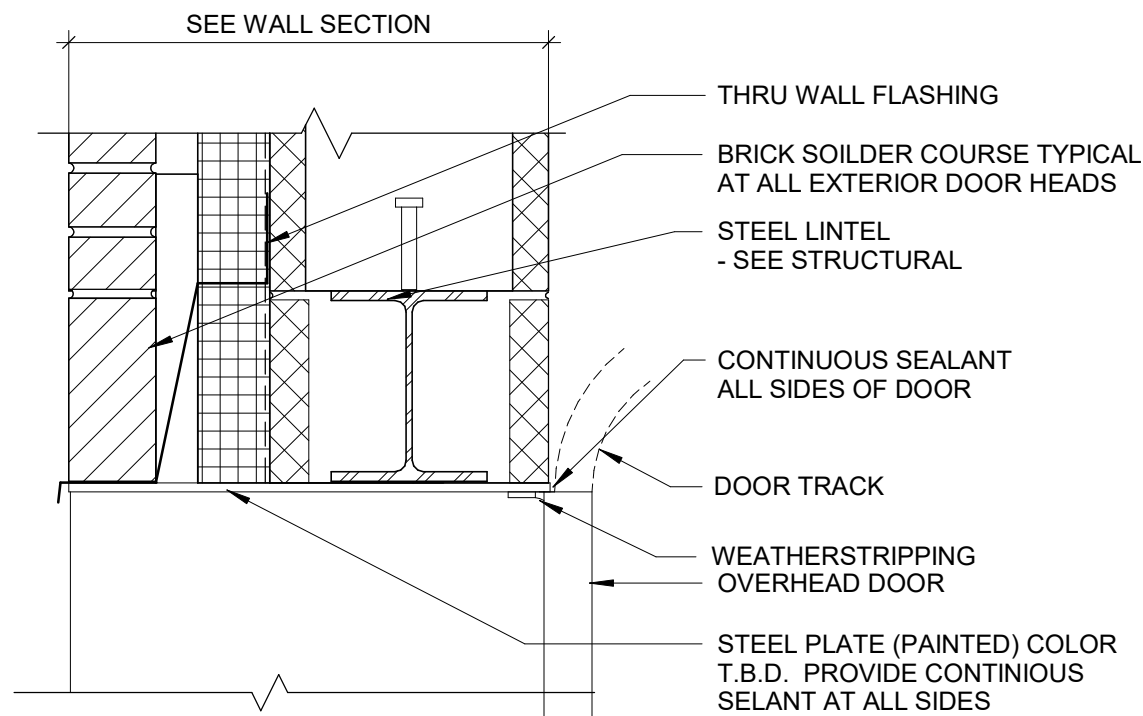
7 WINDOW HEAD
A291 1 1/2" = 1'-0"



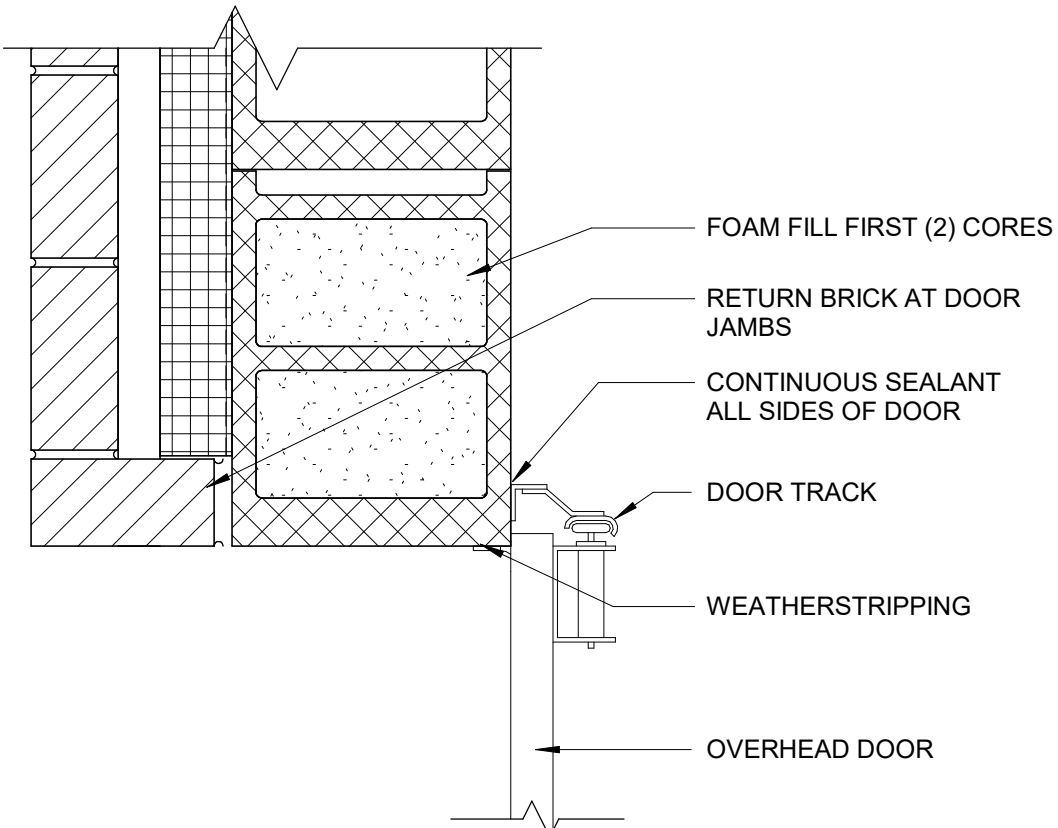
6 WINDOW JAMB
A291 1 1/2" = 1'-0"



5 WINDOW SILL
A291 1 1/2" = 1'-0"



9 SECTIONAL HEAD AT CMU
A291 1 1/2" = 1'-0"

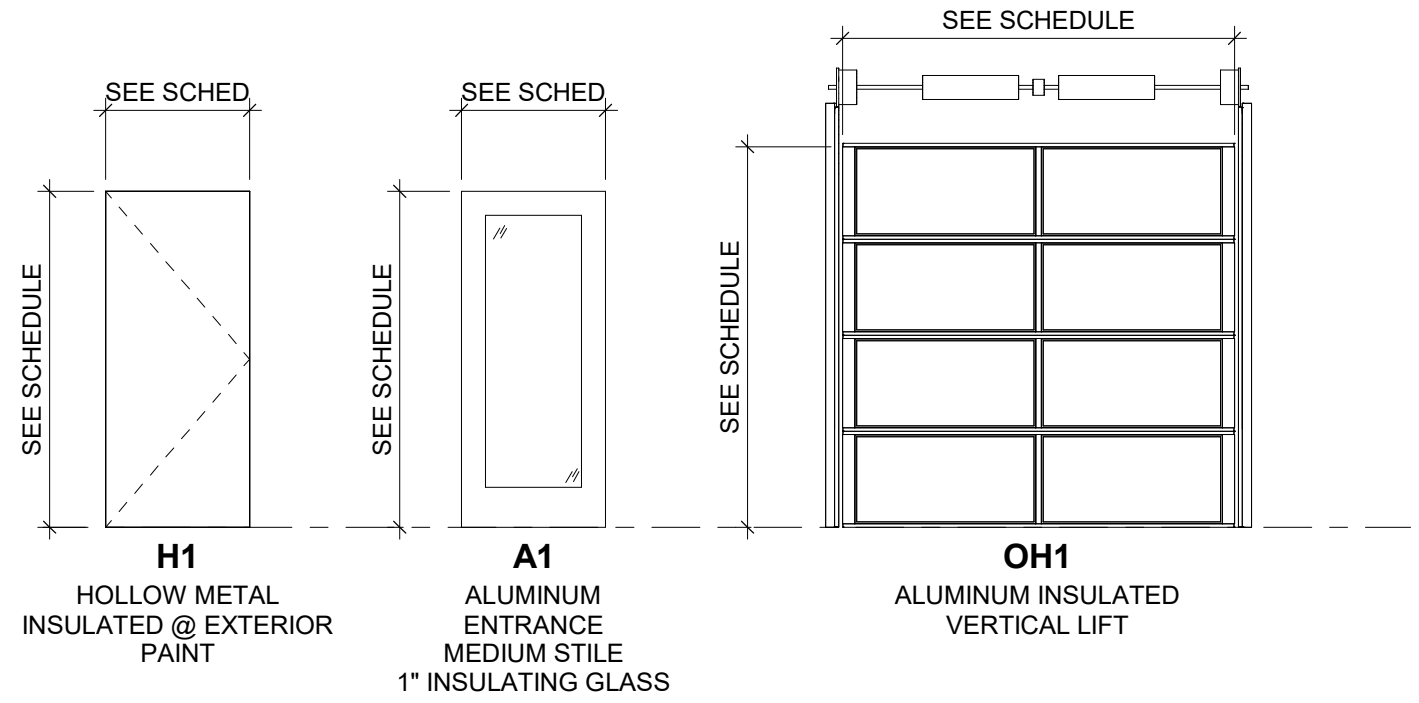


8 SECTIONAL JAMB AT CMU
A291 1 1/2" = 1'-0"

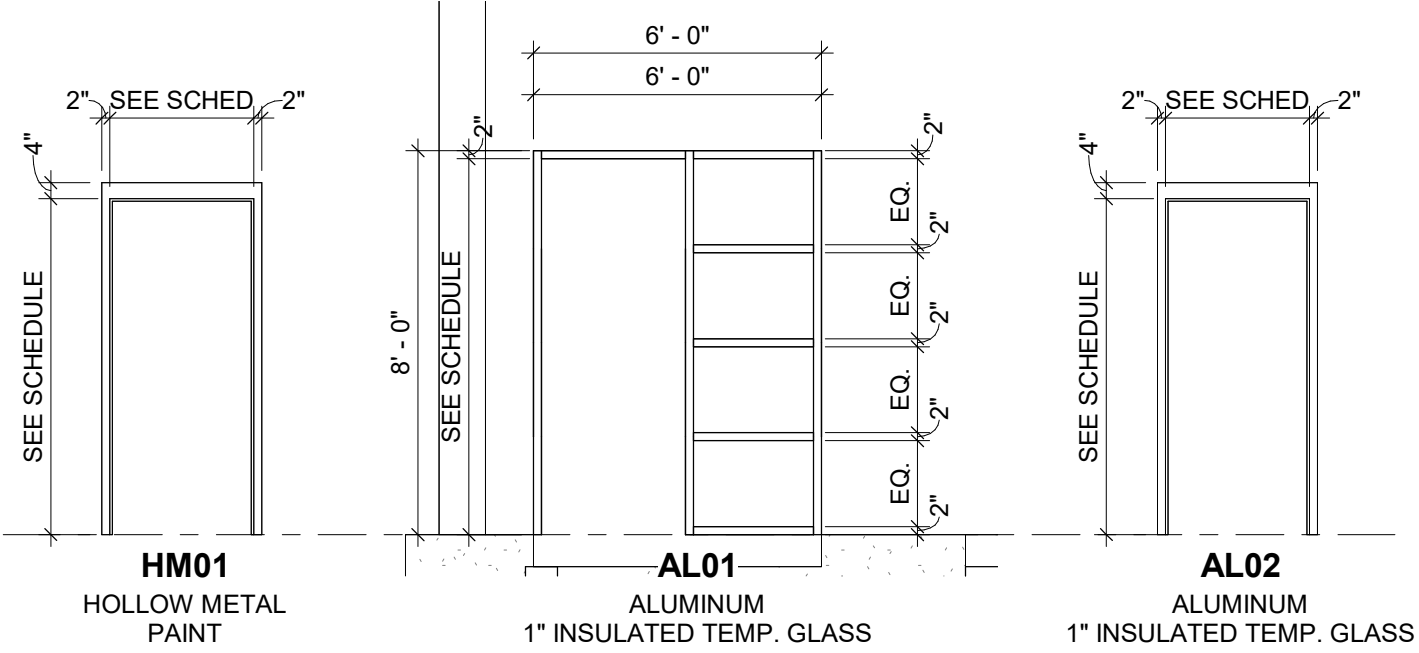
DOOR SCHEDULE

DOOR NUMBER	OPENING SIZE			DOOR TYPE	FRAME TYPE	FIRE RATING	DETAILS (A291)	COMMENTS
	WIDTH	DOOR HEIGHT	THICKNESS					
100A	3' - 0"	7' - 10"	1 3/4"	A1	AL02	-	1, 2, 3 (SIM)	
100B	12' - 0"	10' - 0"	2"	OH1	-	-	8, 9	
100C	8' - 0"	8' - 0"	2 1/8"	OH1	-	-	8, 9	
100D	8' - 0"	8' - 0"	2 1/8"	OH1	-	-	8, 9	
100E	8' - 0"	8' - 0"	2 1/8"	OH1	-	-	8, 9	
100F	8' - 0"	8' - 0"	2 1/8"	OH1	-	-	8, 9	
101	3' - 0"	7' - 0"	1 3/4"	H1	HM01	-	1, 2, 3	
102	3' - 0"	7' - 0"	1 3/4"	H1	HM01	-	4	
103	3' - 0"	7' - 0"	1 3/4"	H1	HM01	-	1, 2, 3	
104	3' - 0"	7' - 0"	1 3/4"	H1	HM01	-	1, 2, 3	
105	3' - 0"	7' - 0"	1 3/4"	H1	HM01	-	1, 2, 3	
106	3' - 0"	7' - 0"	1 3/4"	H1	HM01	-	1, 2, 3	
107	3' - 0"	7' - 0"	1 3/4"	H1	HM01	-	1, 2, 3	
108	3' - 0"	7' - 0"	1 3/4"	H1	HM01	-	1, 2, 3	
109	3' - 0"	7' - 0"	1 3/4"	H1	HM01	-	1, 2, 3	
110	3' - 0"	7' - 0"	1 3/4"	H1	HM01	-	1, 2, 3	
111	3' - 0"	7' - 0"	1 3/4"	H1	HM01	-	1, 2, 3	
111A	3' - 0"	7' - 0"	1 3/4"	H1	HM01	-	4	
112	3' - 0"	7' - 0"	1 3/4"	H1	HM01	-	4	

DOOR ELEVATIONS

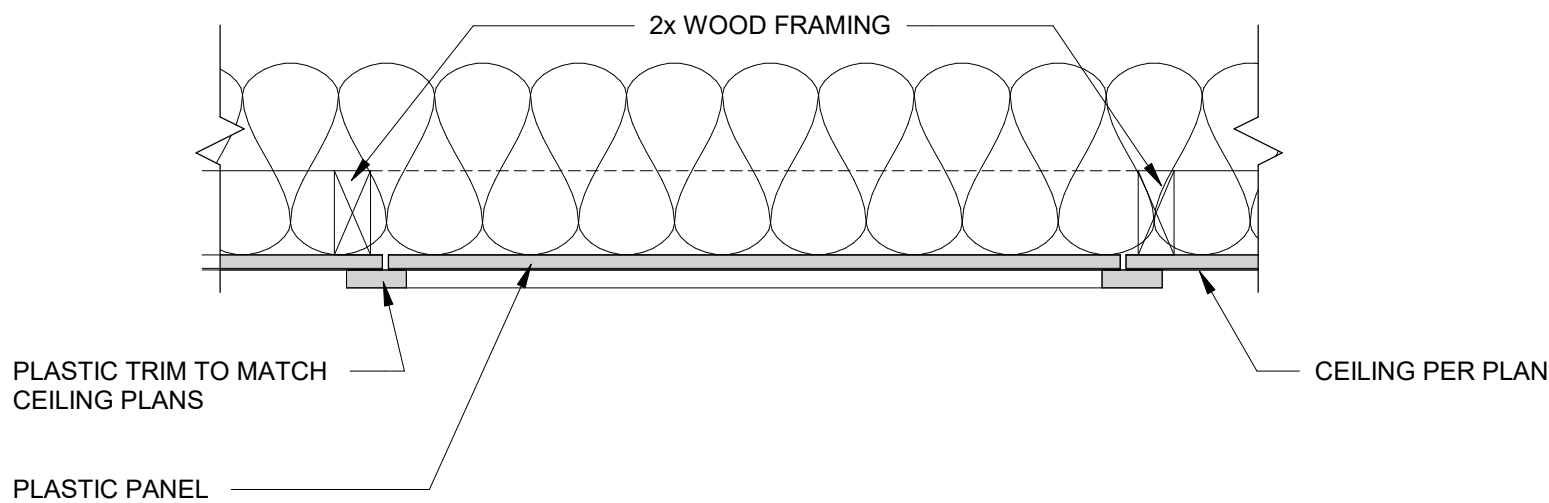


FRAME ELEVATIONS



GENERAL DOOR & HARDWARE NOTES

- ALL DOOR HARDWARE SHALL BE CAPABLE OF OPERATION W/ THE USE OF ONE (1) HAND & SHALL NOT REQUIRE TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. THUMBTURN DEADBOLTS ARE PROHIBITED. LEVER OR PADDLE DEADBOLT RELEASES ARE ACCEPTABLE. DOOR THRESHOLD SHALL NOT EXCEED ONE-HALF INCH IN HEIGHT & SHALL HAVE 1:2 BEVEL. DOOR CLOSERS SHALL MEET THE FORCE & SWEEP PERIOD REQUIREMENTS.
- PROVIDE LEVER TYPE HANDLES ON LOCKETS
- SEE HARDWARE SETS FOR DOORS WITH ELECTRONIC, KEYPADS, ALARMS, ETC.

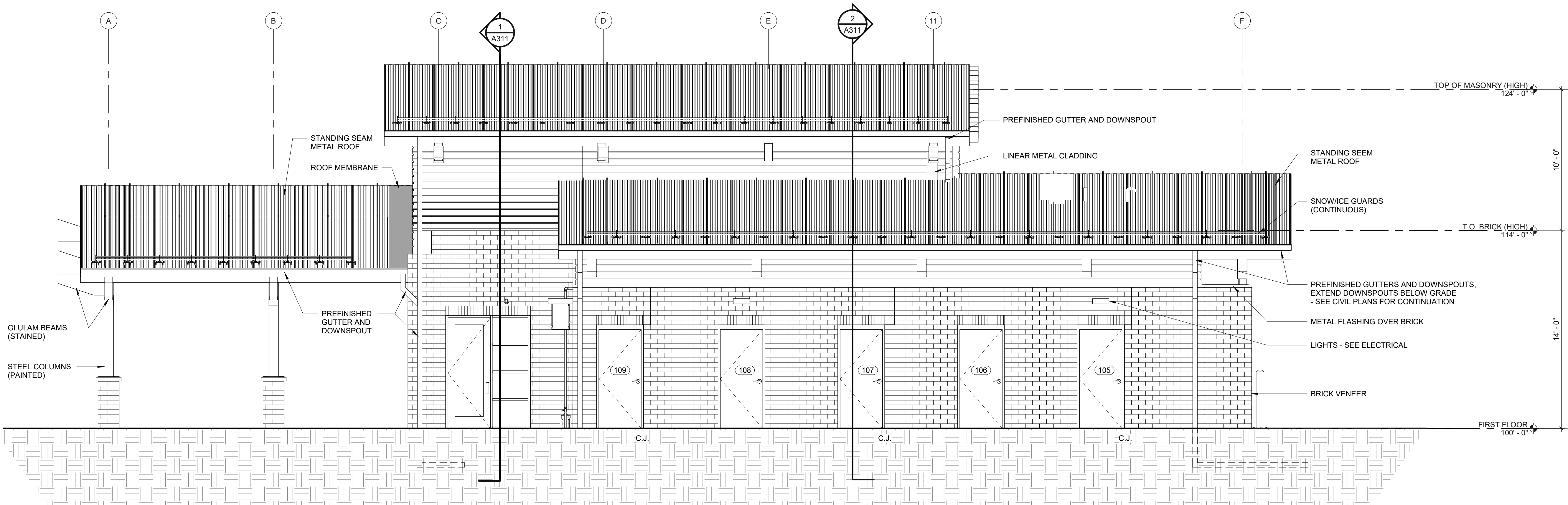


10 ATTIC ACCESS
A291 1 1/2" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

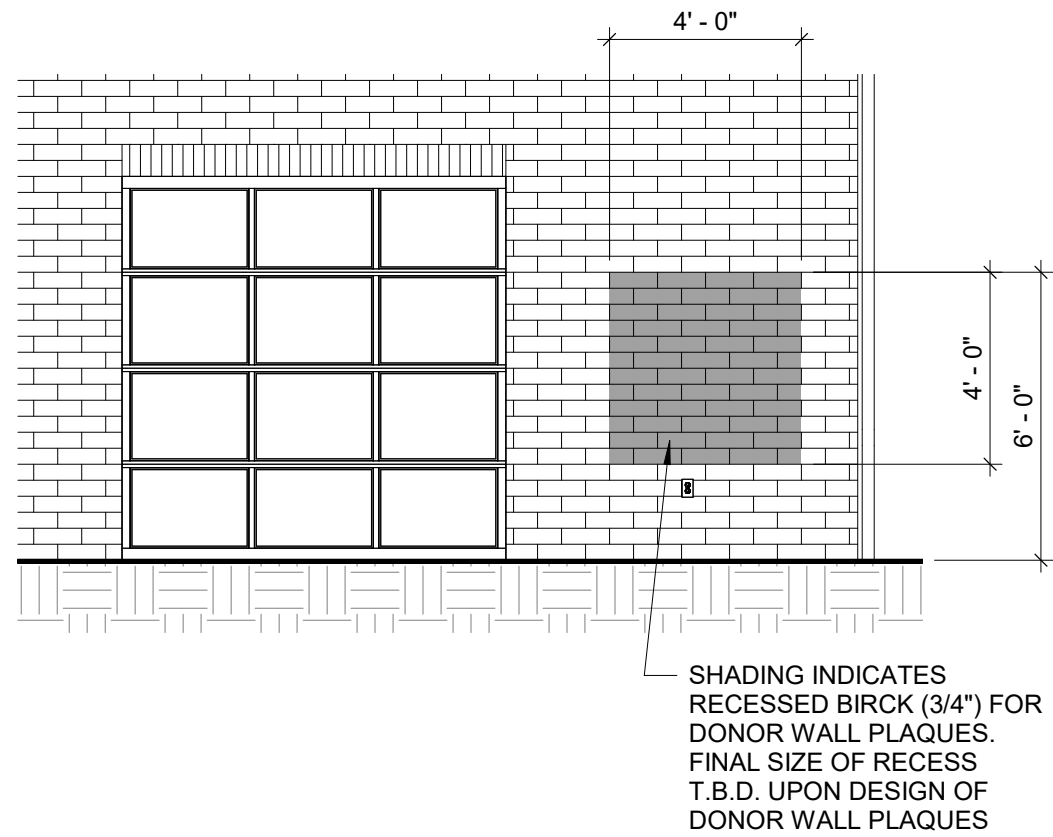


SOUTH ELEVATION

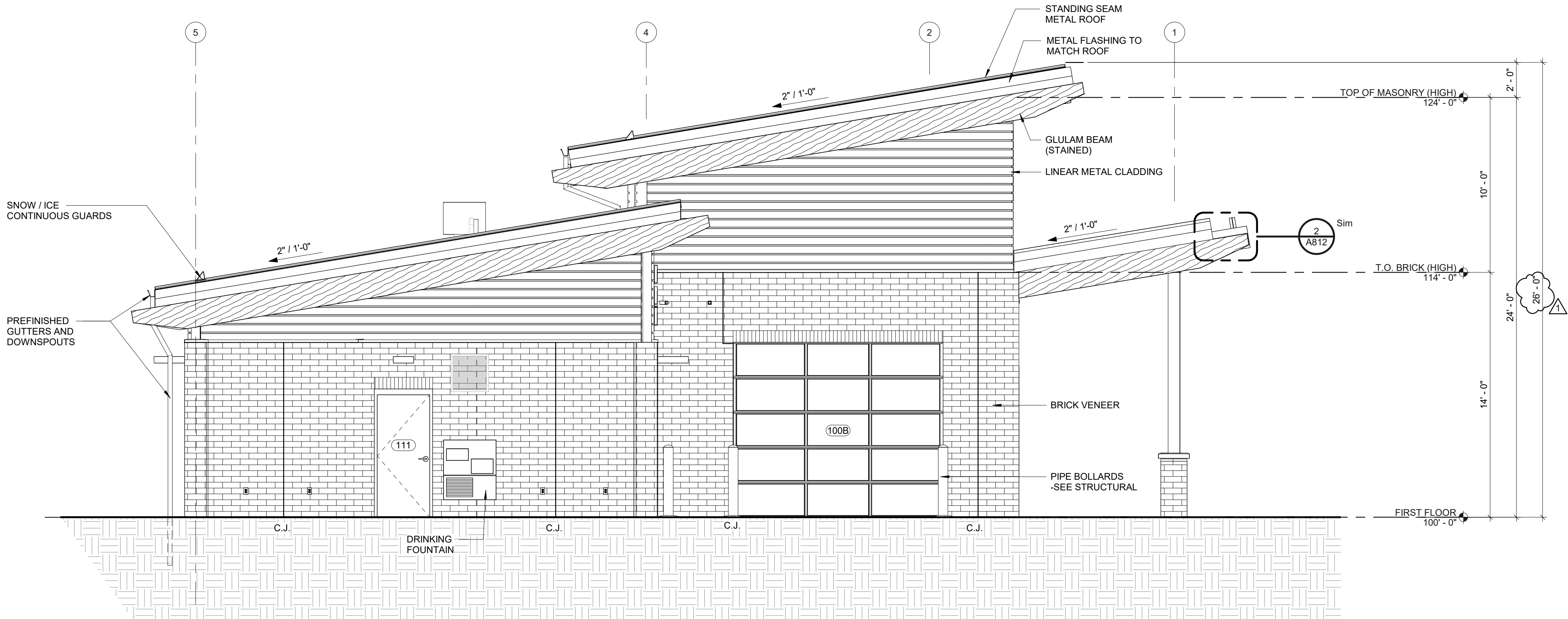
1/4" = 1'-0"

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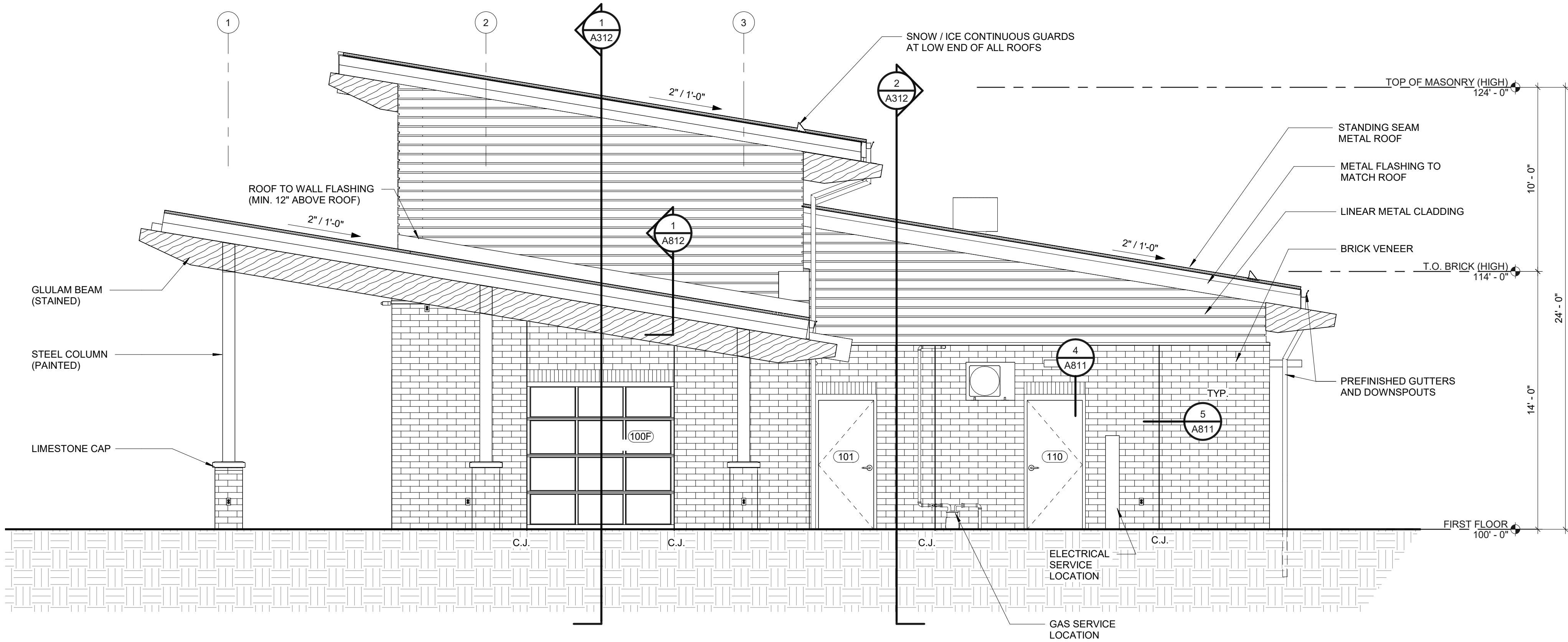
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DATE MARCH 30 2023	
SHEET NO. A301	



1
A302
DONOR WALL
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"

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1	8-30-23	

NELSON FAMILY PAVILION

CITY OF DE PERE 100 WILLIAM ST, DE PERE, WI 54115

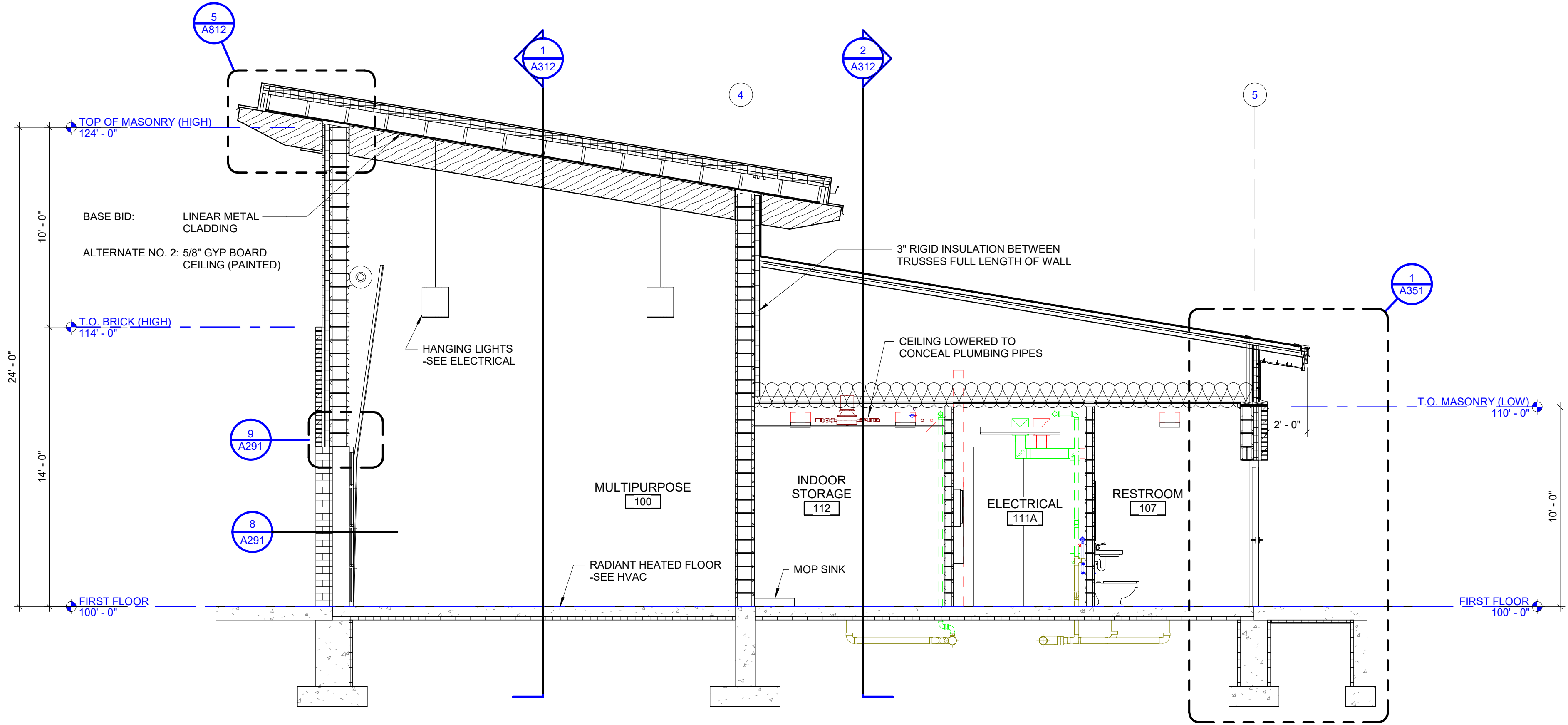
EXTERIOR ELEVATIONS

DESIGNED	DRAWN
KJC	CAW

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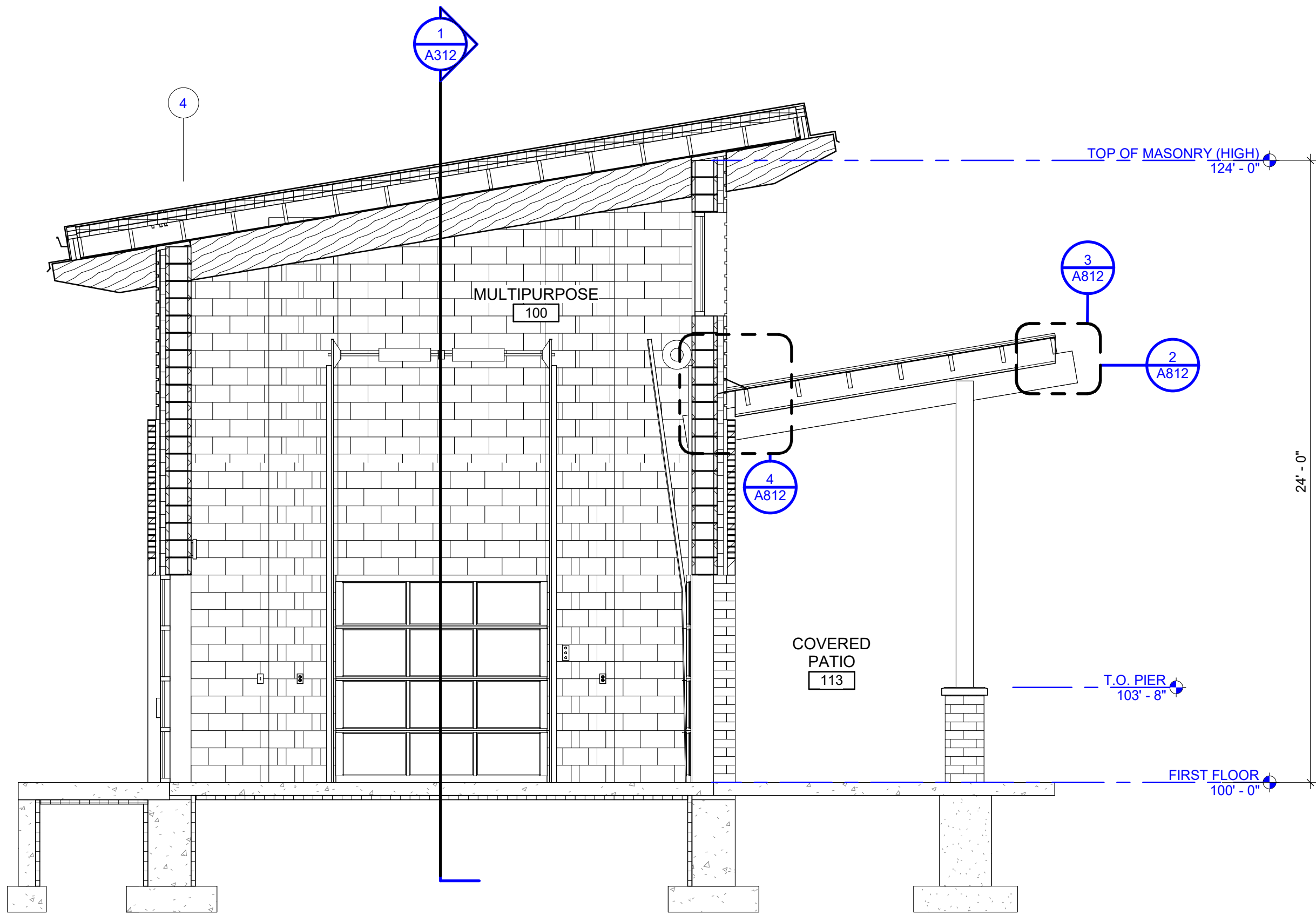
DATE
MARCH 30 2023

SHEET NO.
A302



2
A311 1/4" = 1'-0"

BUILDING SECTION AT RESTROOMS



1
A311 1/4" = 1'-0"

BUILDING SECTION AT COVERED AREA

SECTIONS ARE FOR GENERAL
BUILDING INFORMATION
- SEE DETAILS FOR ADDITIONAL
INFORMATION

NELSON FAMILY PAVILION
CITY OF DE PERE 100 WILLIAM ST, DE PERE, WI 54115

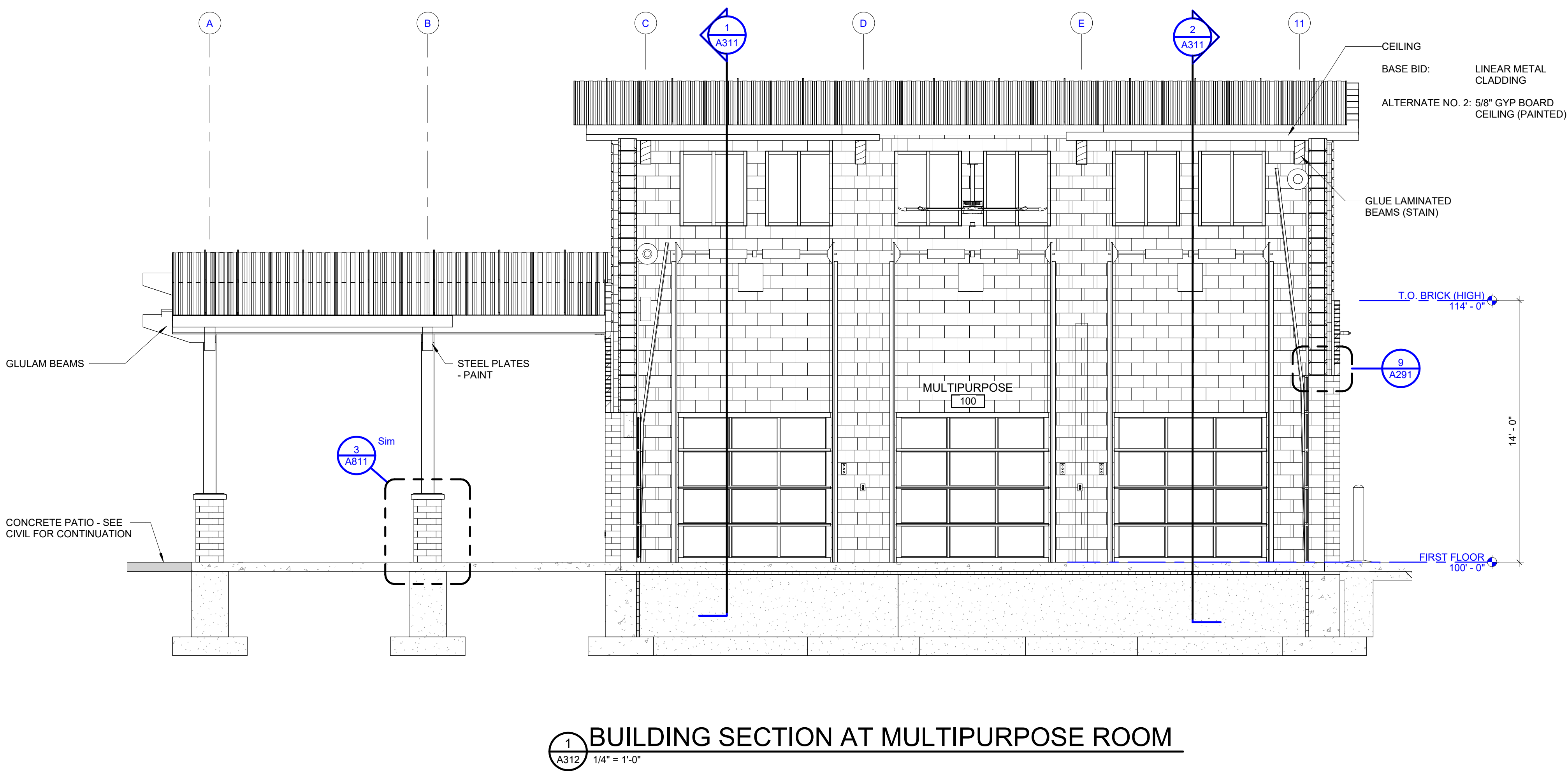
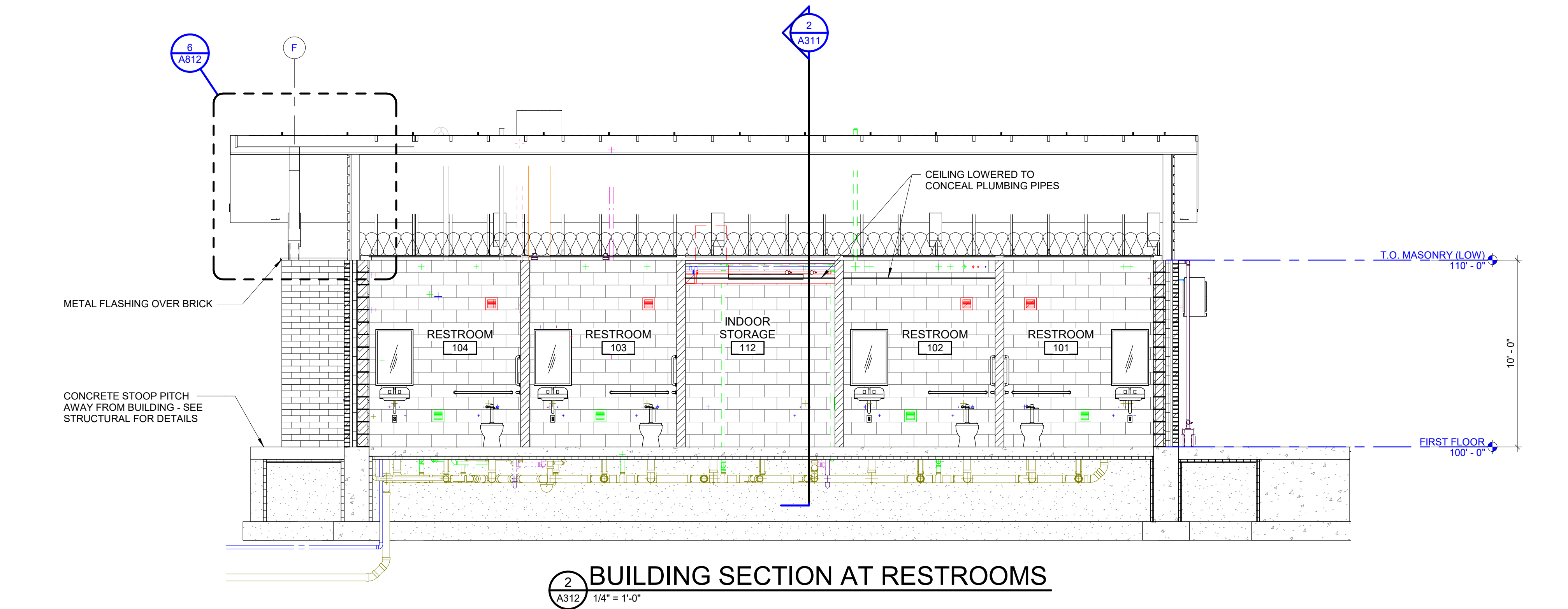
BUILDING SECTIONS

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SHEET NO.	

A311

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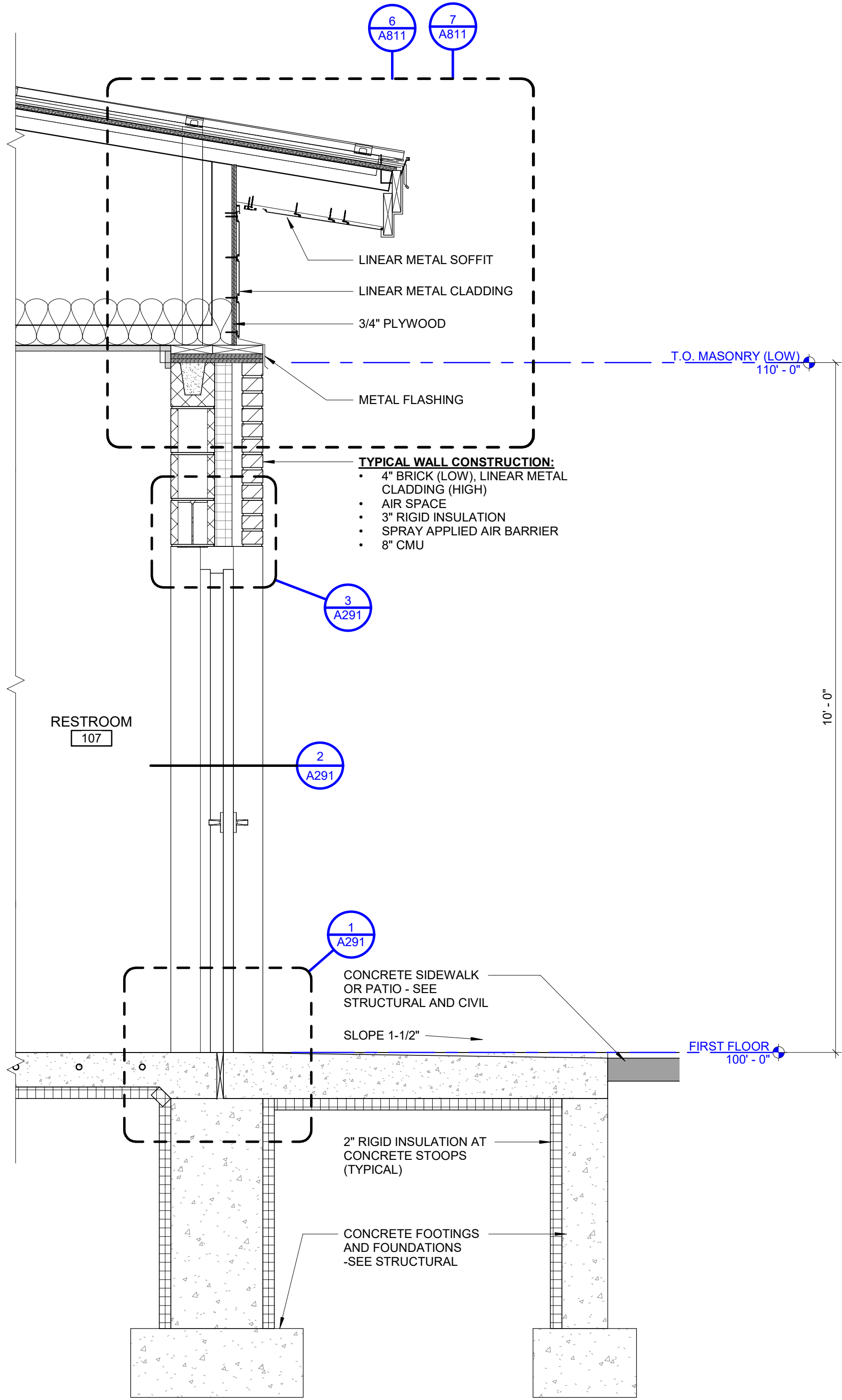
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NELSON FAMILY PAVILION

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BUILDING SECTIONS



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KJC

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CAW

PROJECT NO.
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MARCH 30 2023

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REVISION

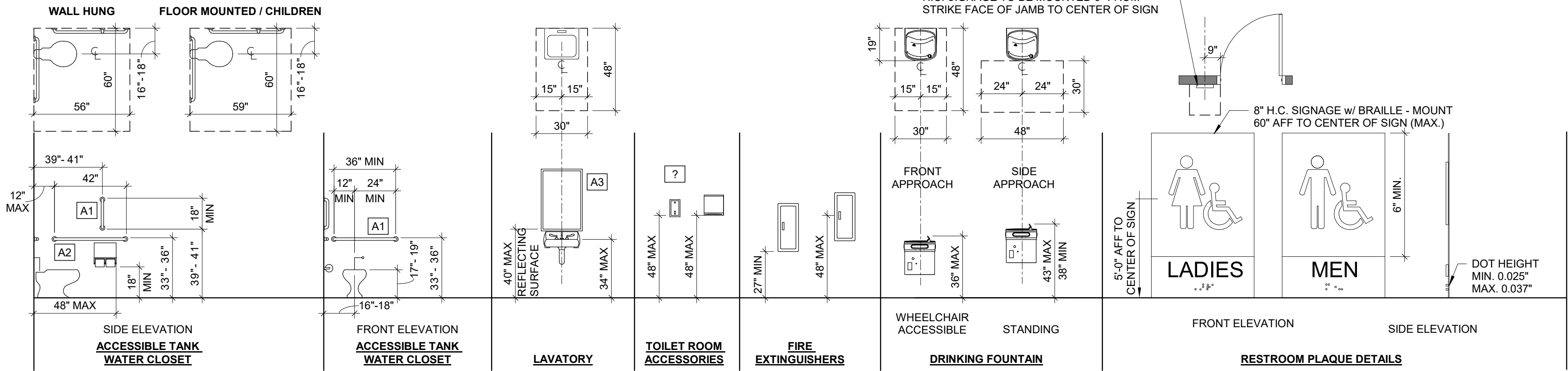
DATE

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NELSON FAMILY PAVILION

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WALL SECTIONS

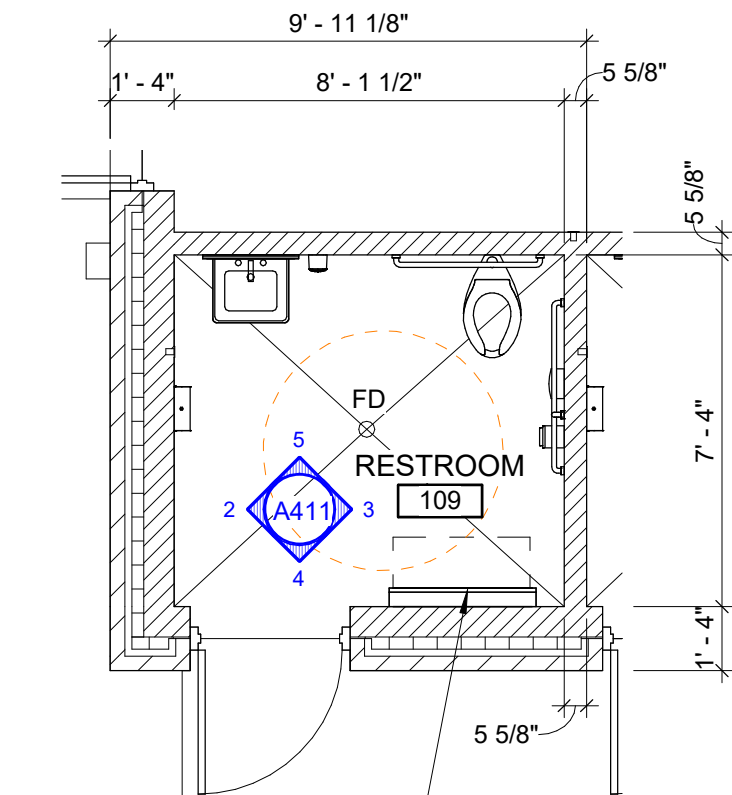


(FIXTURES SHOWN ABOVE ARE FOR DESIGN INTENT ONLY)

ACCESSORY / FIXTURE MOUNTING HEIGHTS & CLEARANCES

SCALE: 1/4" = 1'-0"

TOILET ROOM ACCESSORY SCHEDULE				
MARK	DESCRIPTION	FURNISHED BY	INSTALLED BY	DESIGN BASIS (BRADLEY)
A1	18", 36", & 42" STAINLESS GRAB BARS	GENERAL CONTRACTOR	GENERAL CONTRACTOR	812
A2	TOILET TISSUE DISPENSER	GENERAL CONTRACTOR	GENERAL CONTRACTOR	5425-00
A3	24" X 36" STAINLESS FRAMED MIRROR	GENERAL CONTRACTOR	GENERAL CONTRACTOR	780
A4	SOAP DISPENSER	OWNER	GENERAL CONTRACTOR	6562
A5	BABY CHANGING STATION	GENERAL CONTRACTOR	GENERAL CONTRACTOR	BRADLEY; MODEL 961 WALL MOUNT
A6	NAPKIN DISPOSAL (PARTITION)	GENERAL CONTRACTOR	GENERAL CONTRACTOR	4721-15
A7	PAPER TOWEL DISPENSER	GENERAL CONTRACTOR	GENERAL CONTRACTOR	2483



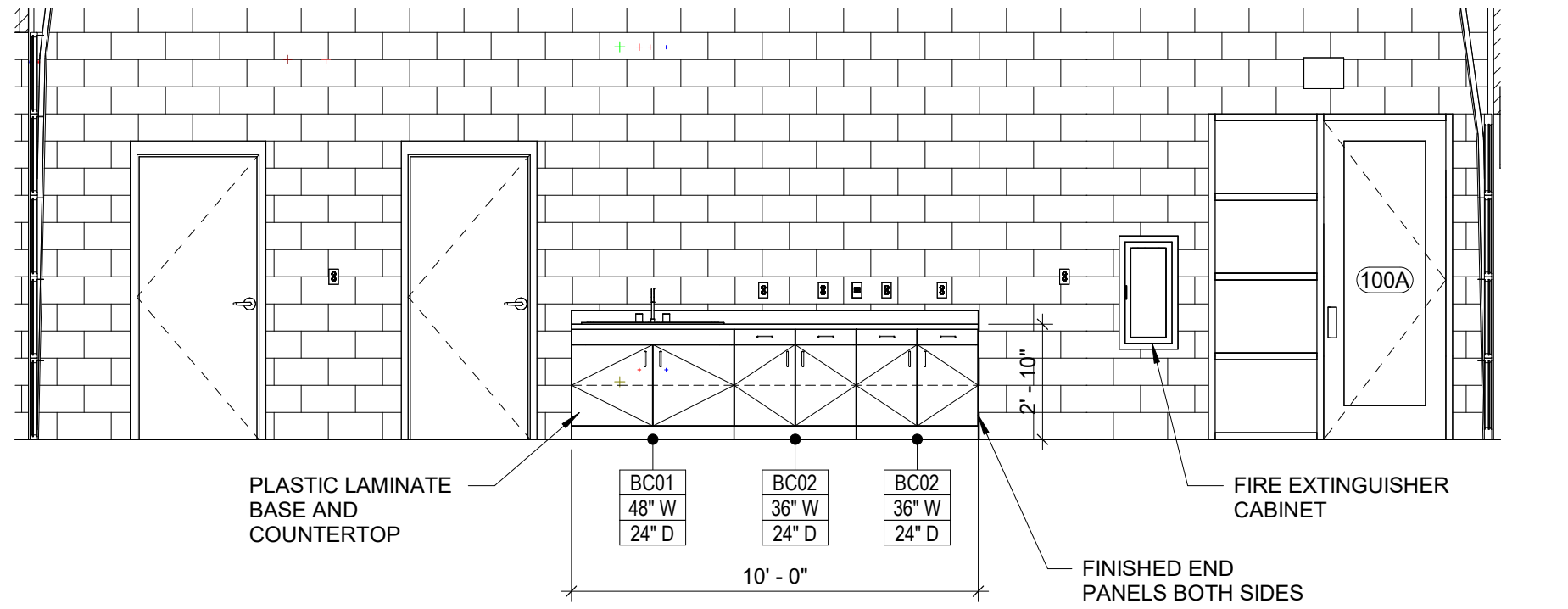
1 TYPICAL RESTROOM PLAN
A411 1/4" = 1'-0"

2 RESTROOM ELEVATION
A411 1/4" = 1'-0"

3 RESTROOM ELEVATION
A411 1/4" = 1'-0"

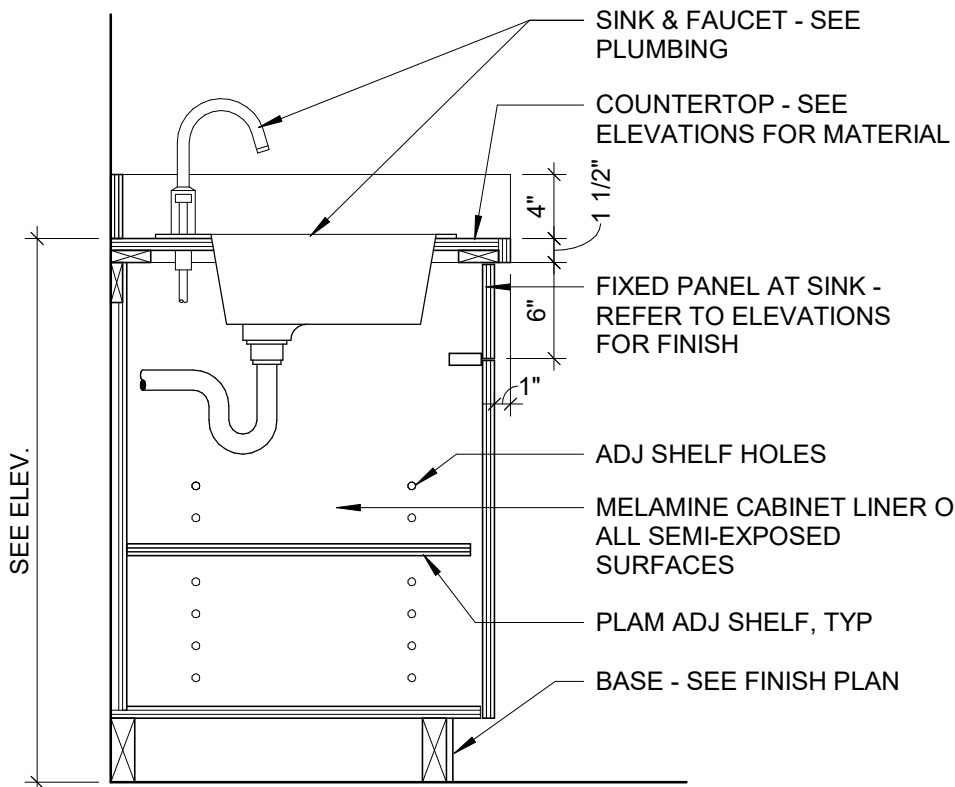
4 RESTROOM ELEVATION
A411 1/4" = 1'-0"

5 RESTROOM ELEVATION
A411 1/4" = 1'-0"

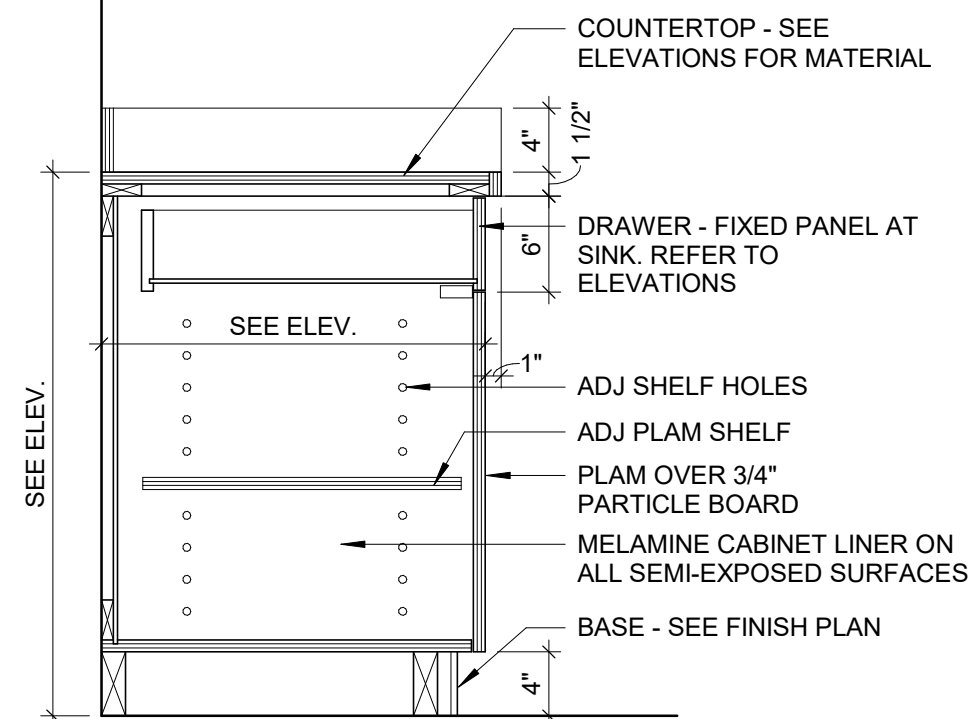


6 MULTIPURPOSE 100
A411 1/4" = 1'-0"

MANIFOLD FOR IN-FLOOR HEATING TO BE LOCATED WITHIN BASE CABINETS - SEE HVAC FOR ADDITIONAL INFORMATION



7 BC01 AT SINK DETAIL
A411 1" = 1'-0"



8 BC02 W/ DRAWER DETAIL
A411 1" = 1'-0"

GENERAL INTERIOR & CASEWORK NOTES

- PROVIDE TOILET ACCESSORIES PER SPECIFICATIONS OR APPROVED EQUAL. INSTALL ACCORDING TO MANUF. SPECIFICATIONS.
- PROVIDE OFFSET TRAP AND HW, CW, DRAIN INSULATION KIT AT ALL OPEN SINKS.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO CASEWORK CONSTRUCTION.
- VERIFY ALL EQUIPMENT WITH OWNER PRIOR TO CONSTRUCTION.
- RADIUS ALL OUTSIDE CORNERS OF COUNTERTOPS.
- MINIMUM 1" FILLER WHERE CABINET IS 90 DEGREES TO WALL OR OTHER CABINETS
- FOR SHELVES GREATER THAN 2'-6" IN WIDTH PROVIDE DOUBLE PLY FOR EACH ADJUSTABLE SHELF

McMAHON
ENGINEERS ARCHITECTS
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
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DESIGN

DATE

NO

NELSON FAMILY PAVILION

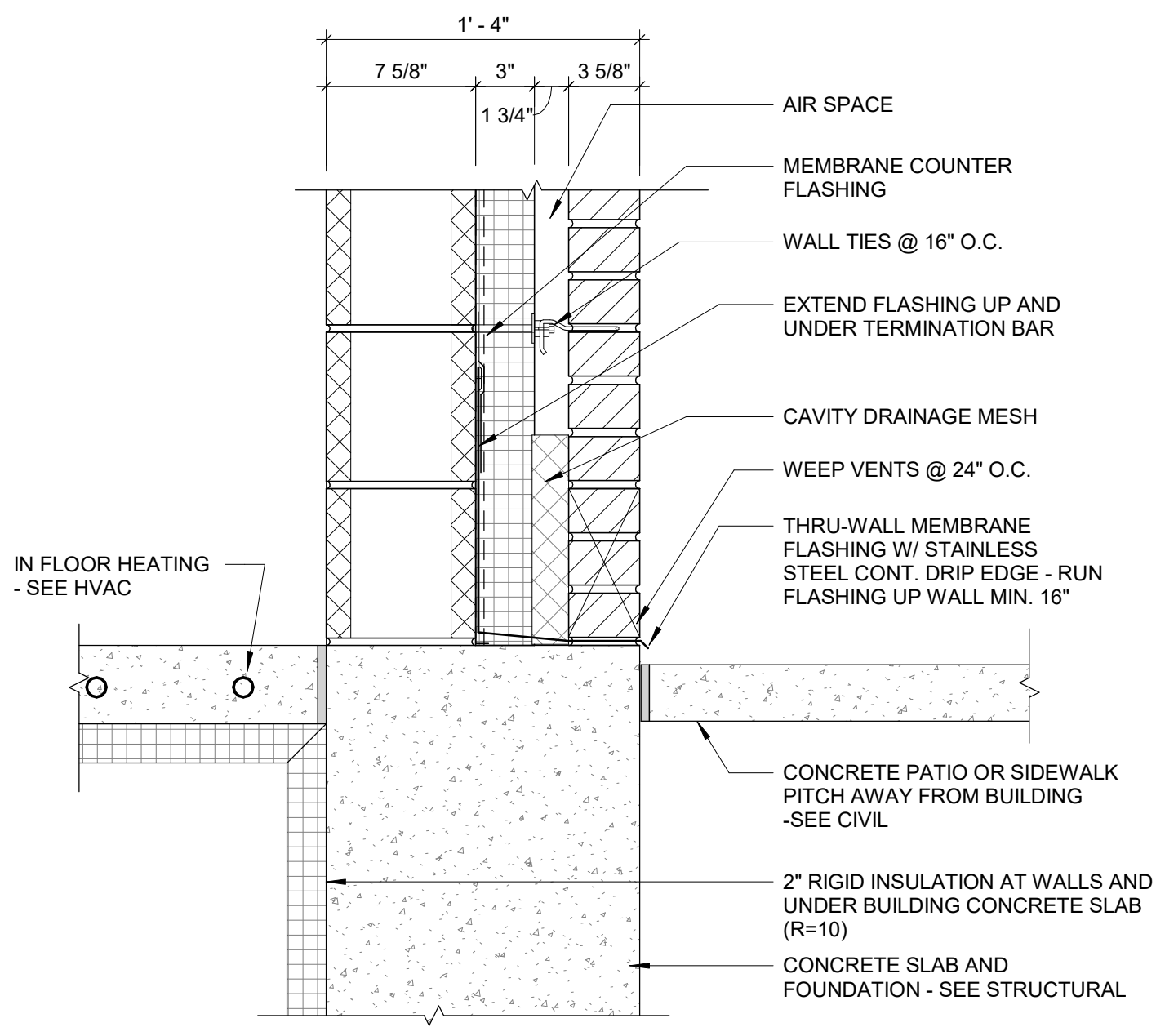
CITY OF DE PERE 100 WILLIAM ST, DE PERE, WI 54115

ENLARGED RESTROOM PLANS & ELEVATIONS

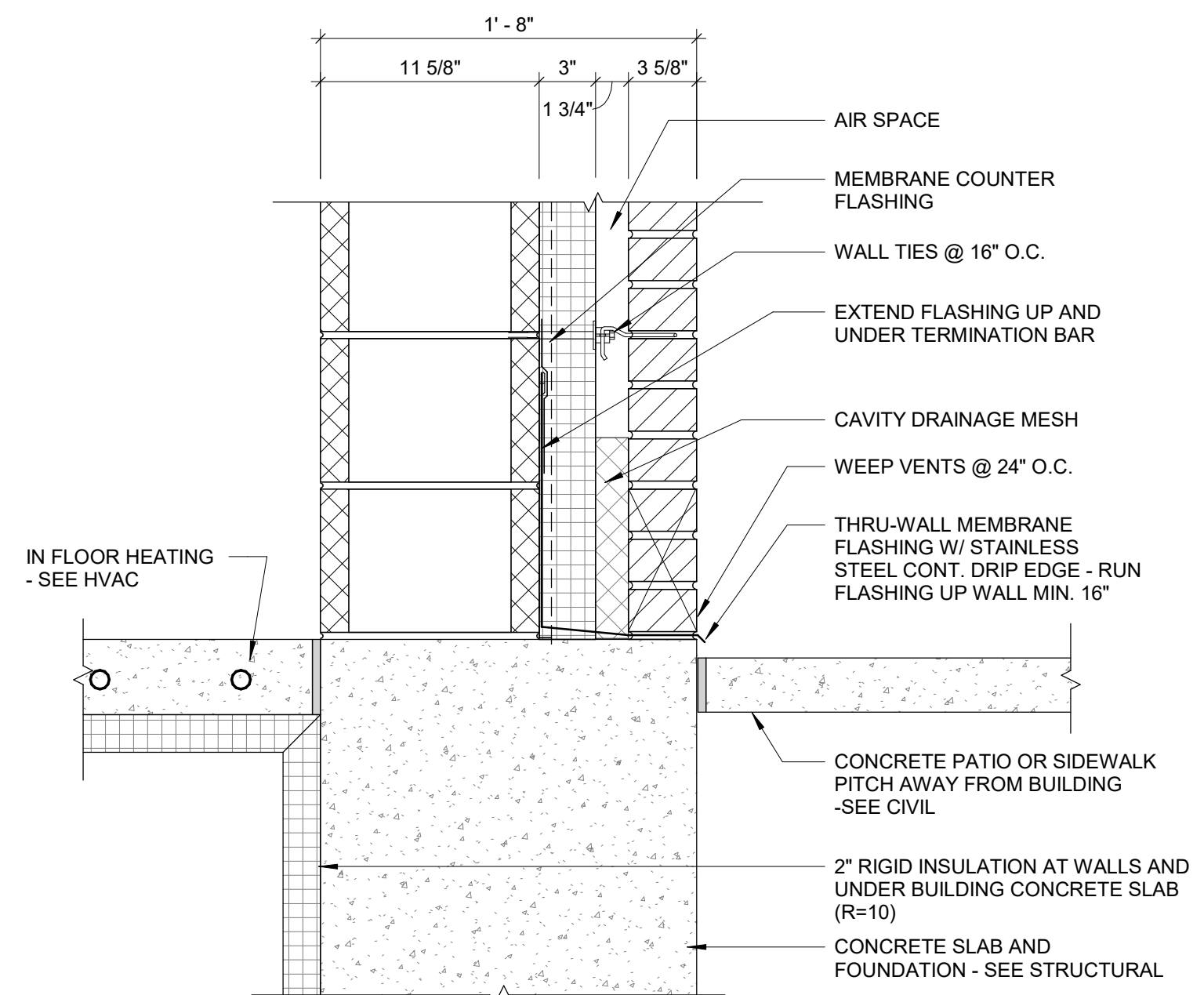
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KJC	CAW
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D0005 06-22-00146	
DATE	
MARCH 30 2023	
SHEET NO.	

A411

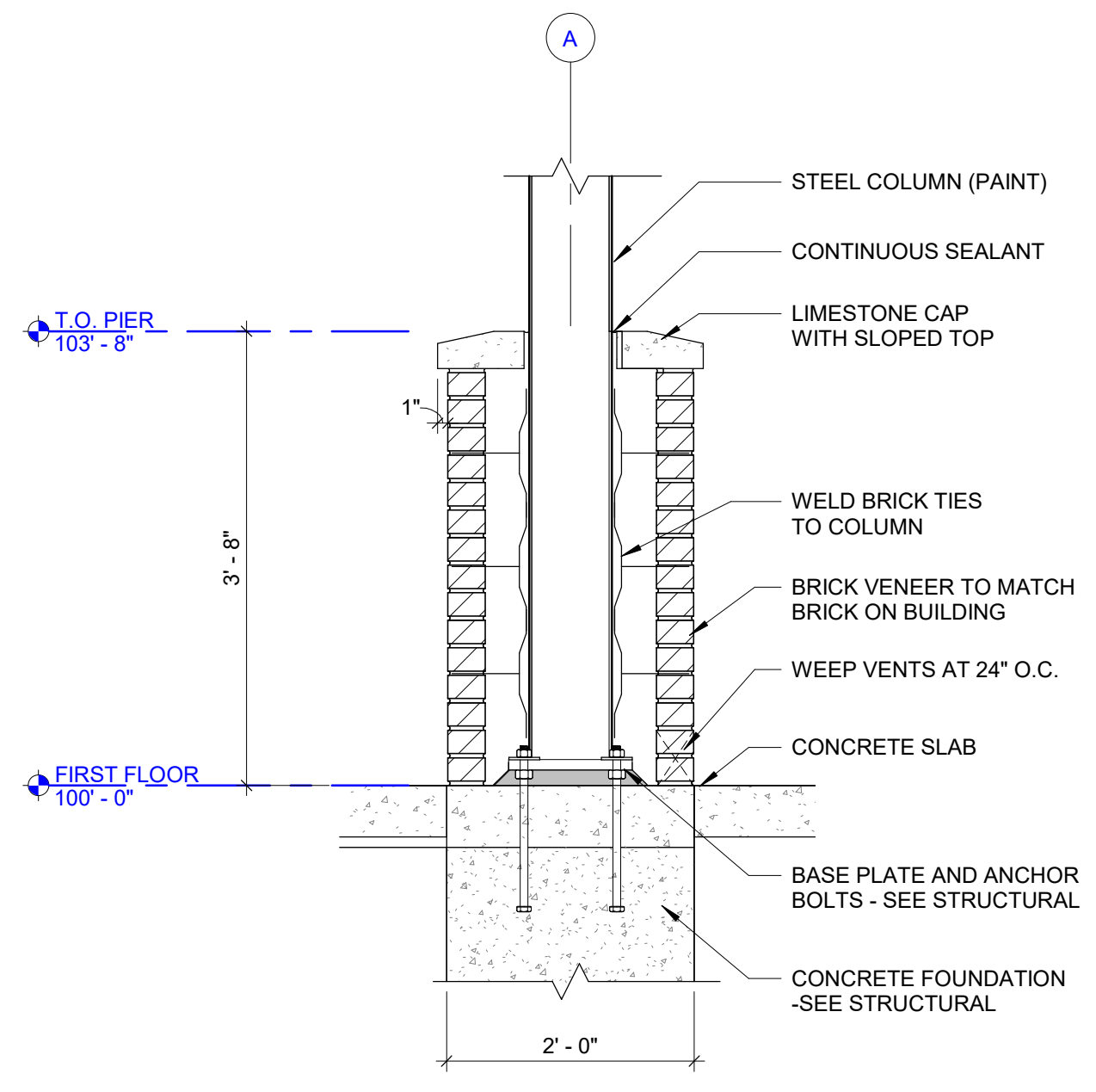
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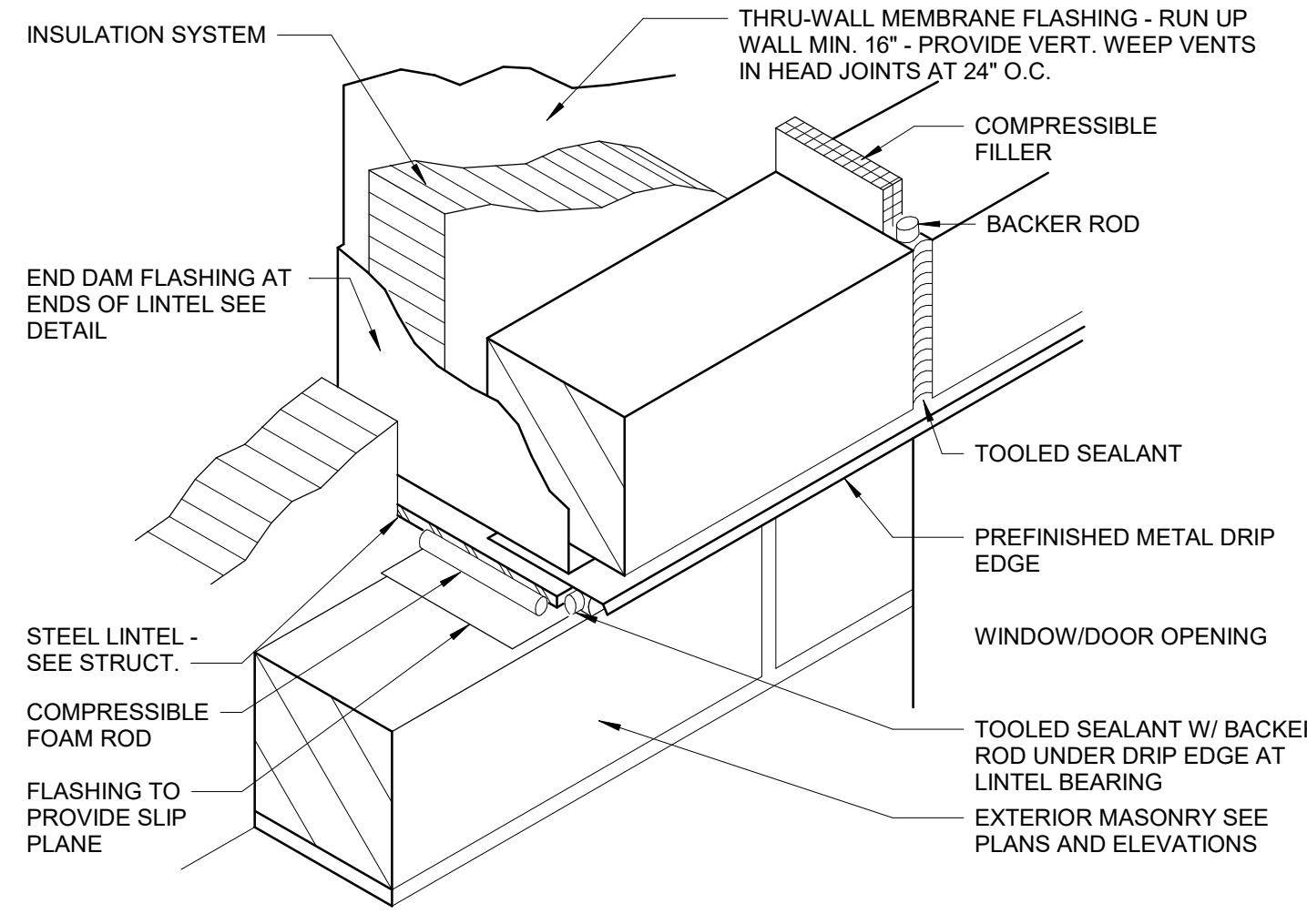
1 TYPICAL FOUNDATION AT RESTROOMS
A811 1 1/2" = 1'-0"



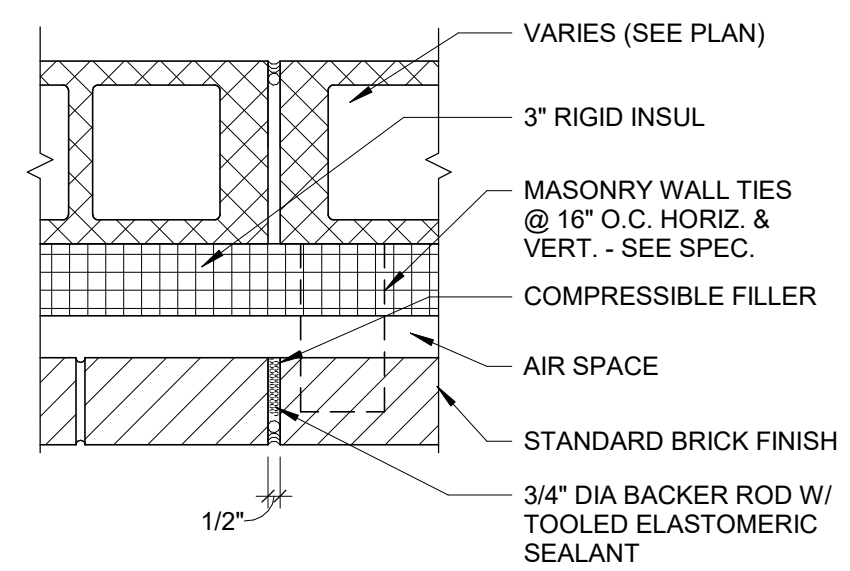
2 TYPICAL FOUNDATION AT MULTIPURPOSE
A811 1 1/2" = 1'-0"



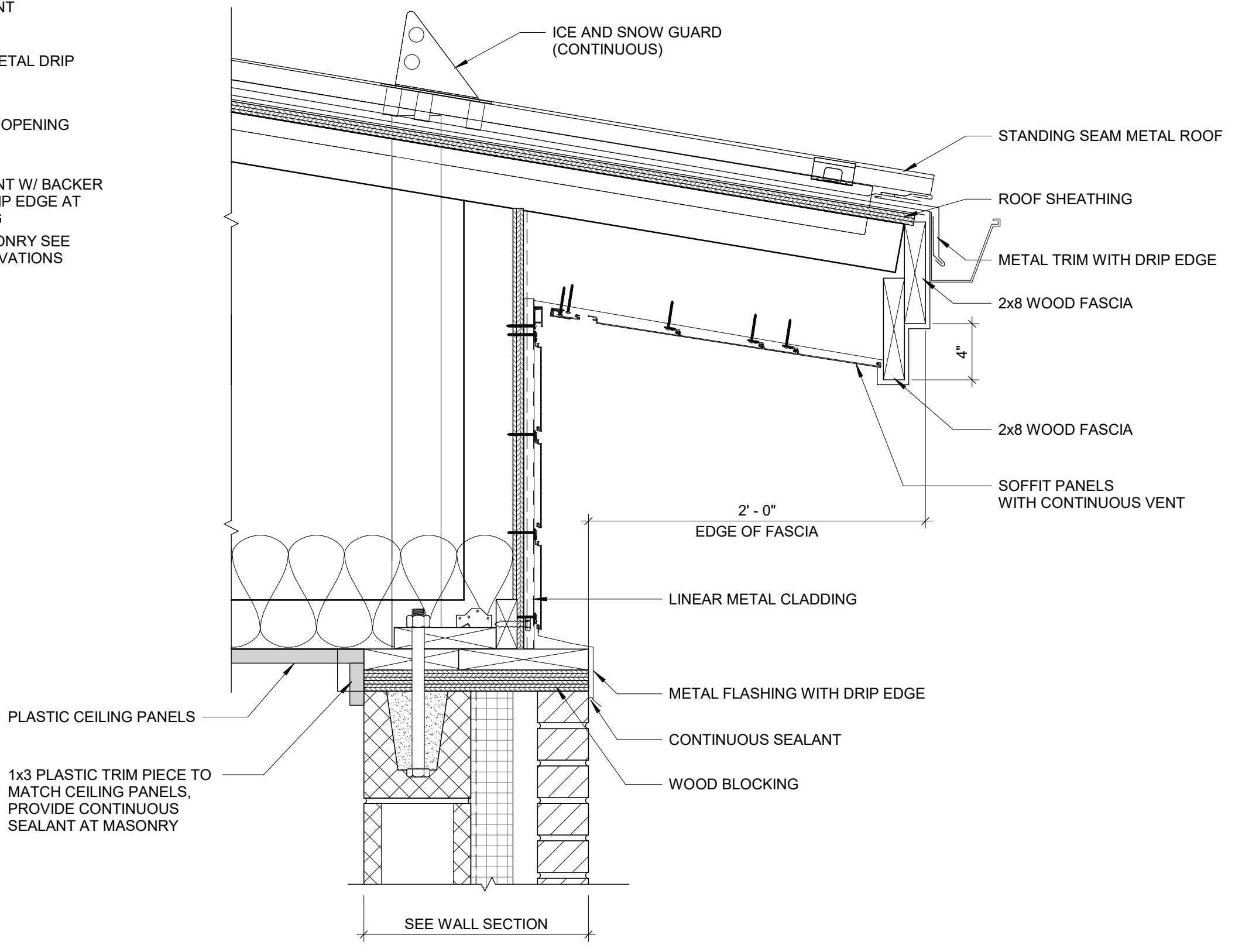
3 PIER SECTION
A811 3/4" = 1'-0"



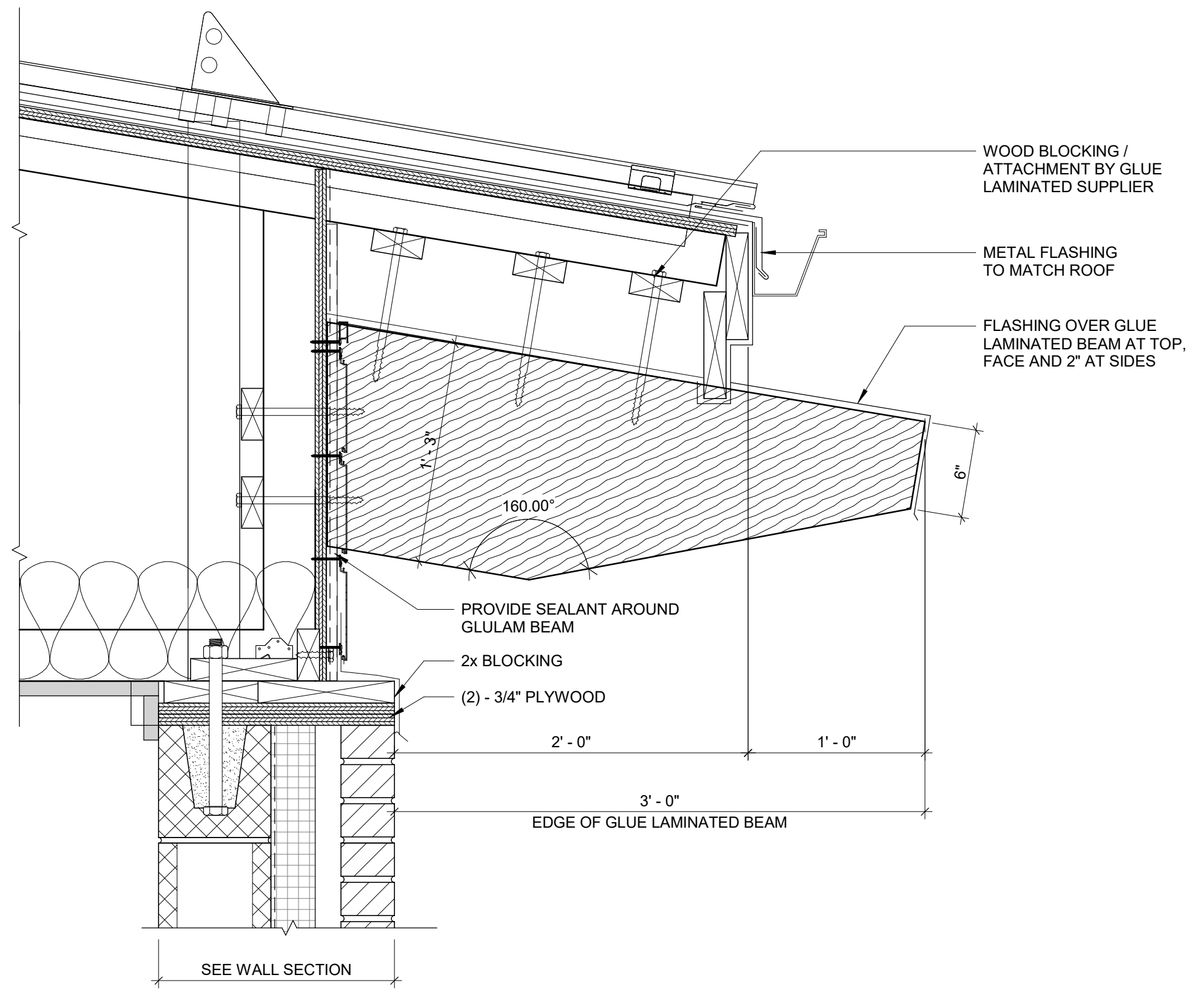
4 CMU CONTROL JOINT
A811 1" = 1'-0"



5 CMU CONTROL JOINT PLAN
A811 1 1/2" = 1'-0"



6 ROOF OVERHANG AT RESTROOMS
A811 1 1/2" = 1'-0"



7 ROOF OVERHANG GLUELAM ATTACHEMENT
A811 1 1/2" = 1'-0"

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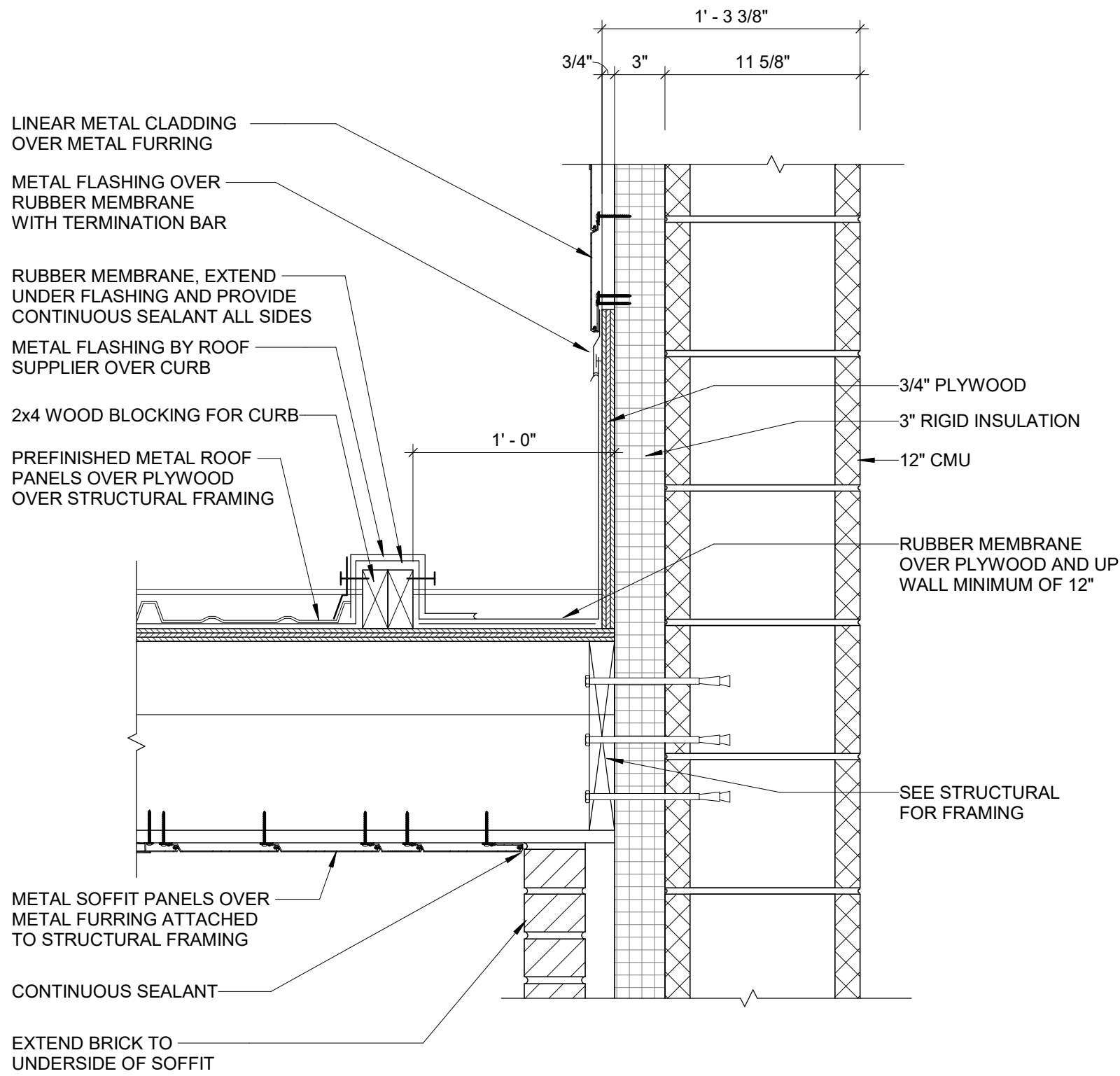
REVISION	DATE	BY

NELSON FAMILY PAVILION
CITY OF DE PERE 100 WILLIAM ST, DE PERE, WI 54115
EXTERIOR DETAILS

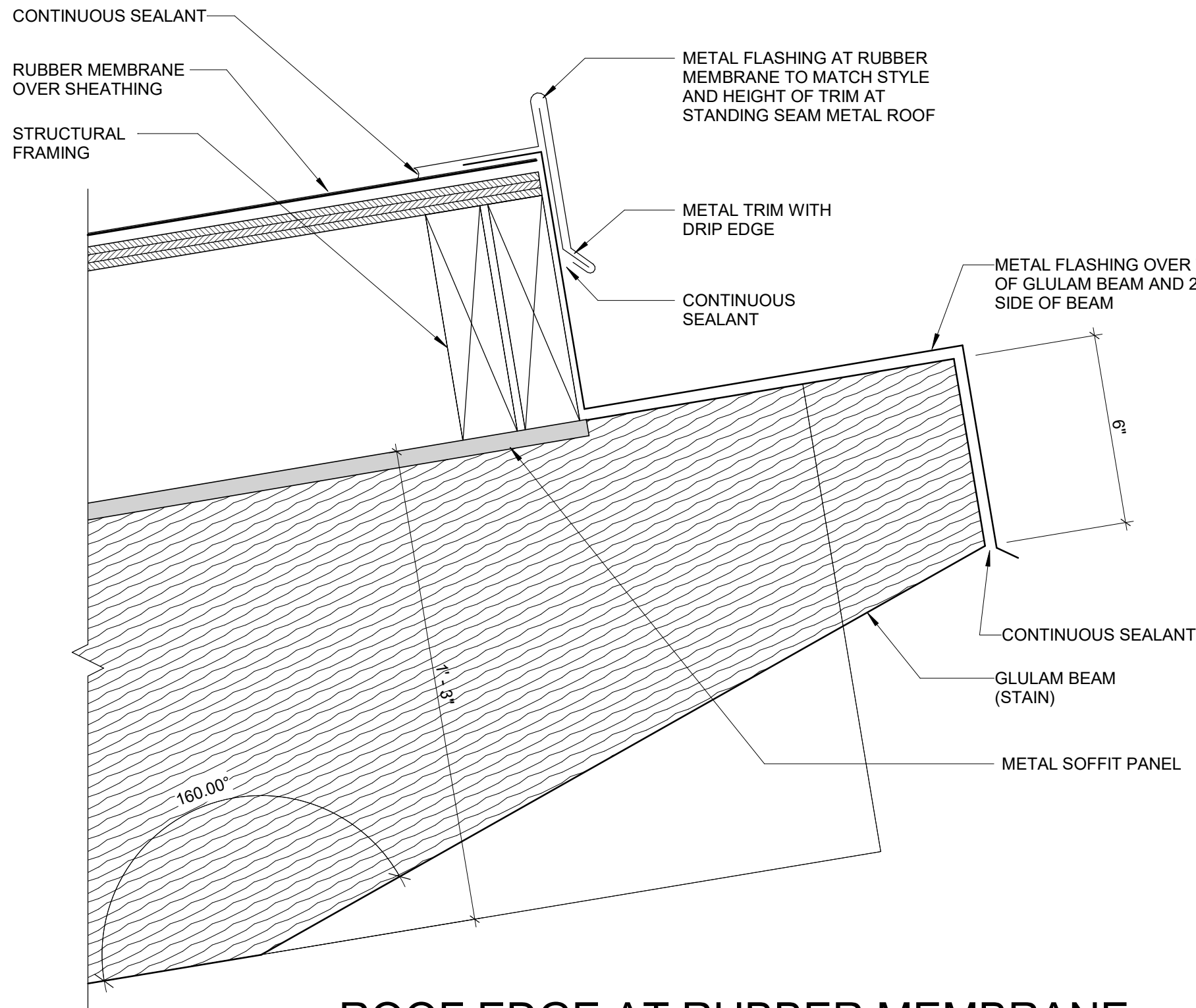
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A811

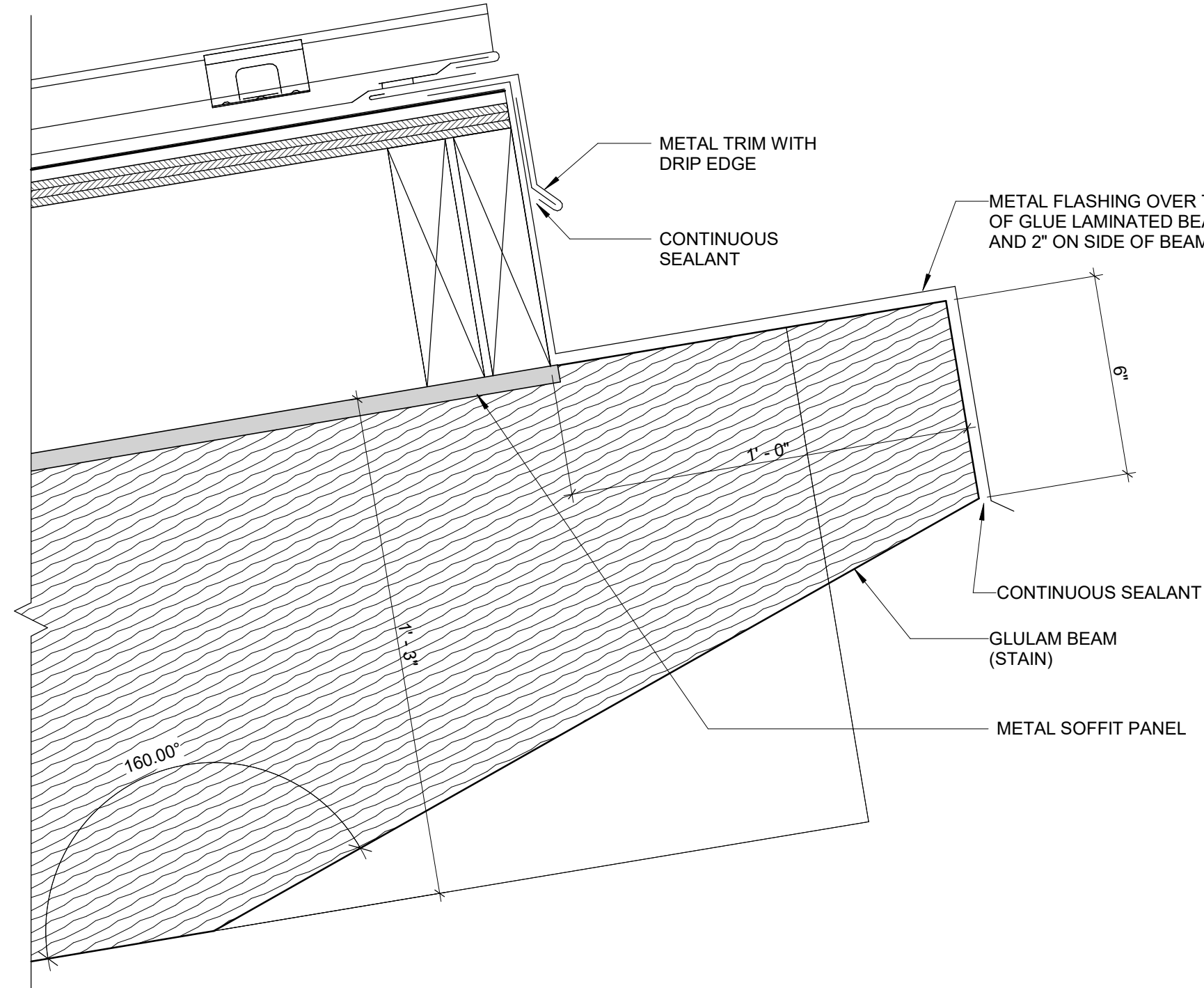
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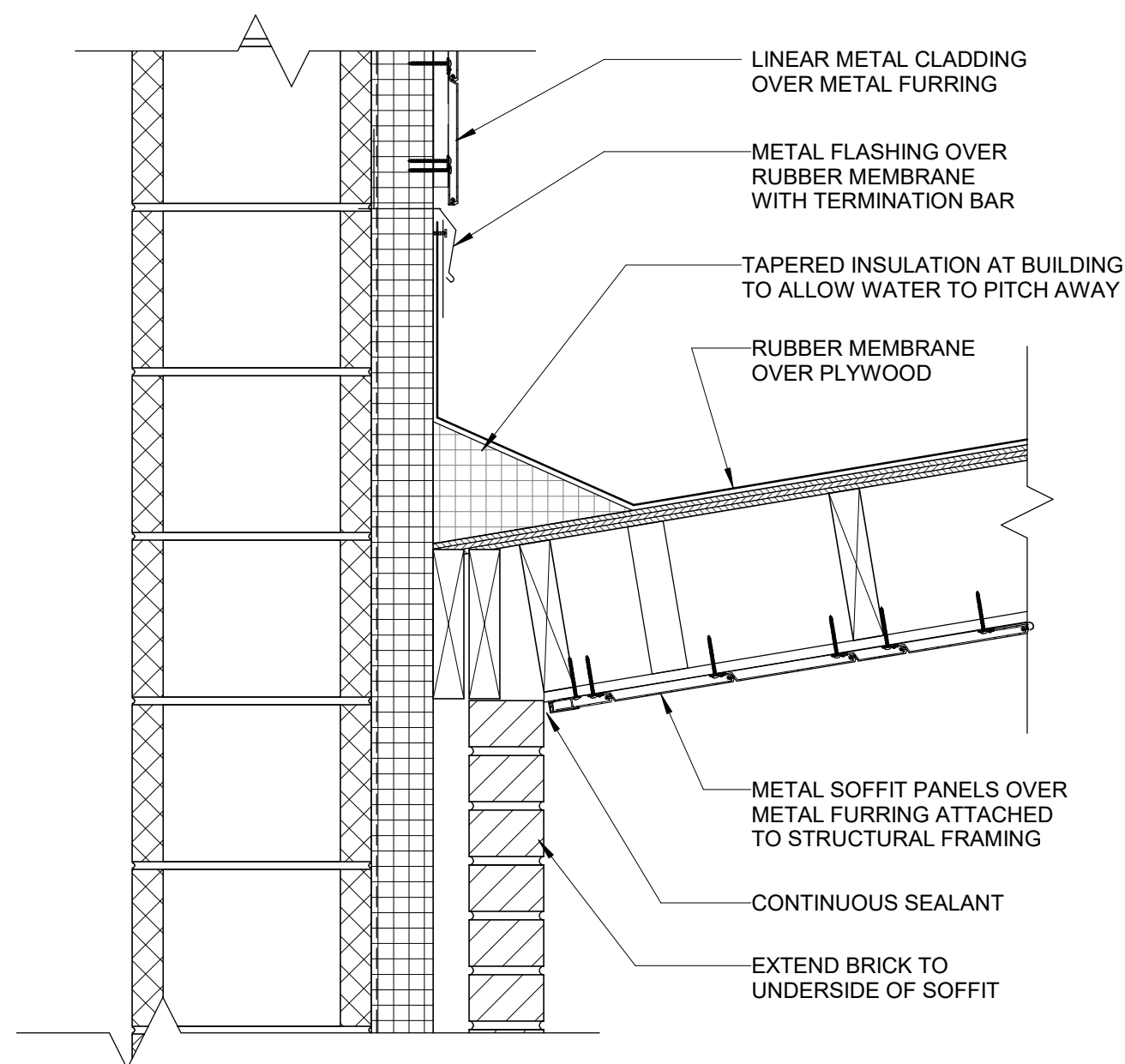
1 ROOF TO WALL AT MEMBRANE
A812 1 1/2" = 1'-0"



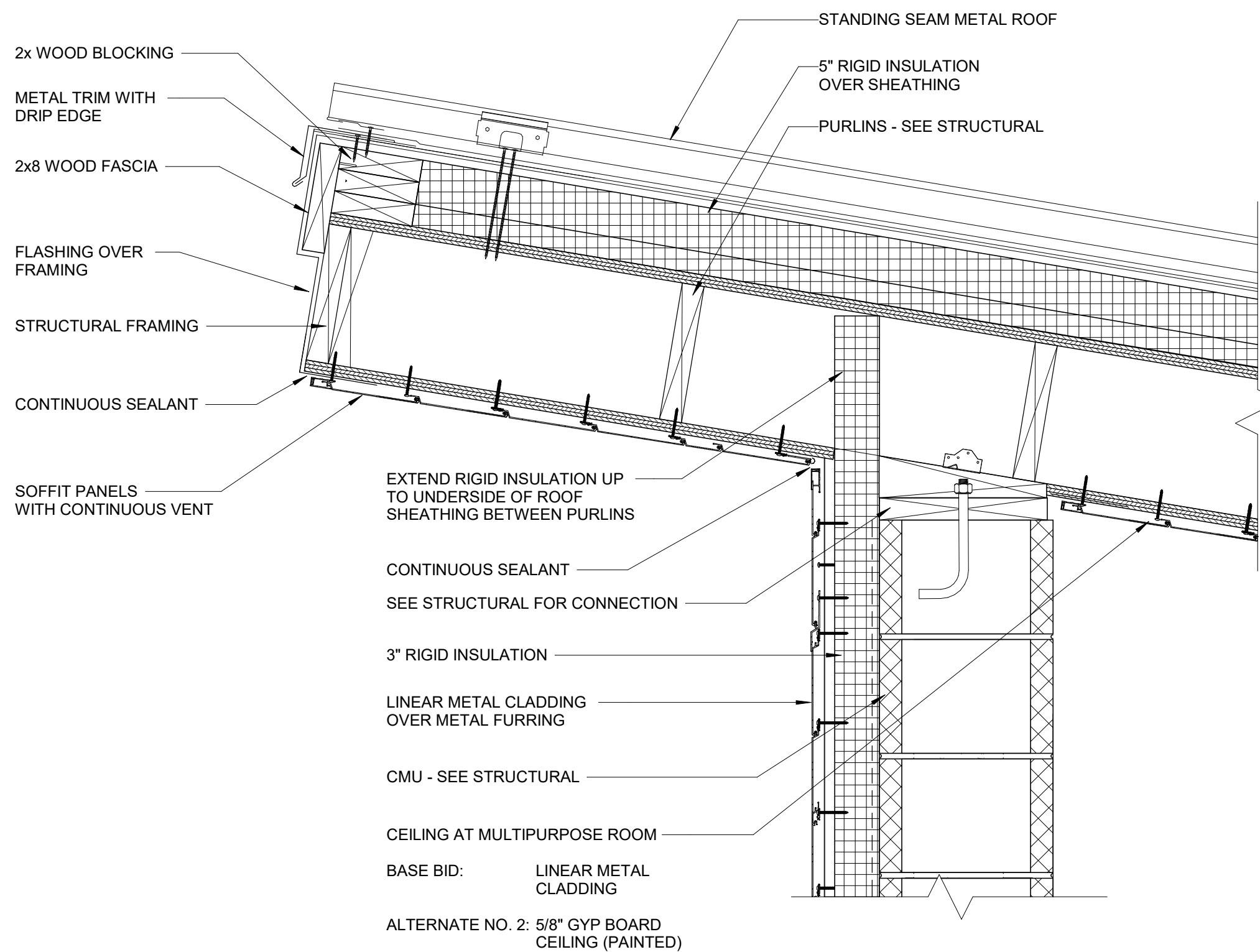
2 ROOF EDGE AT RUBBER MEMBRANE
A812 3" = 1'-0"



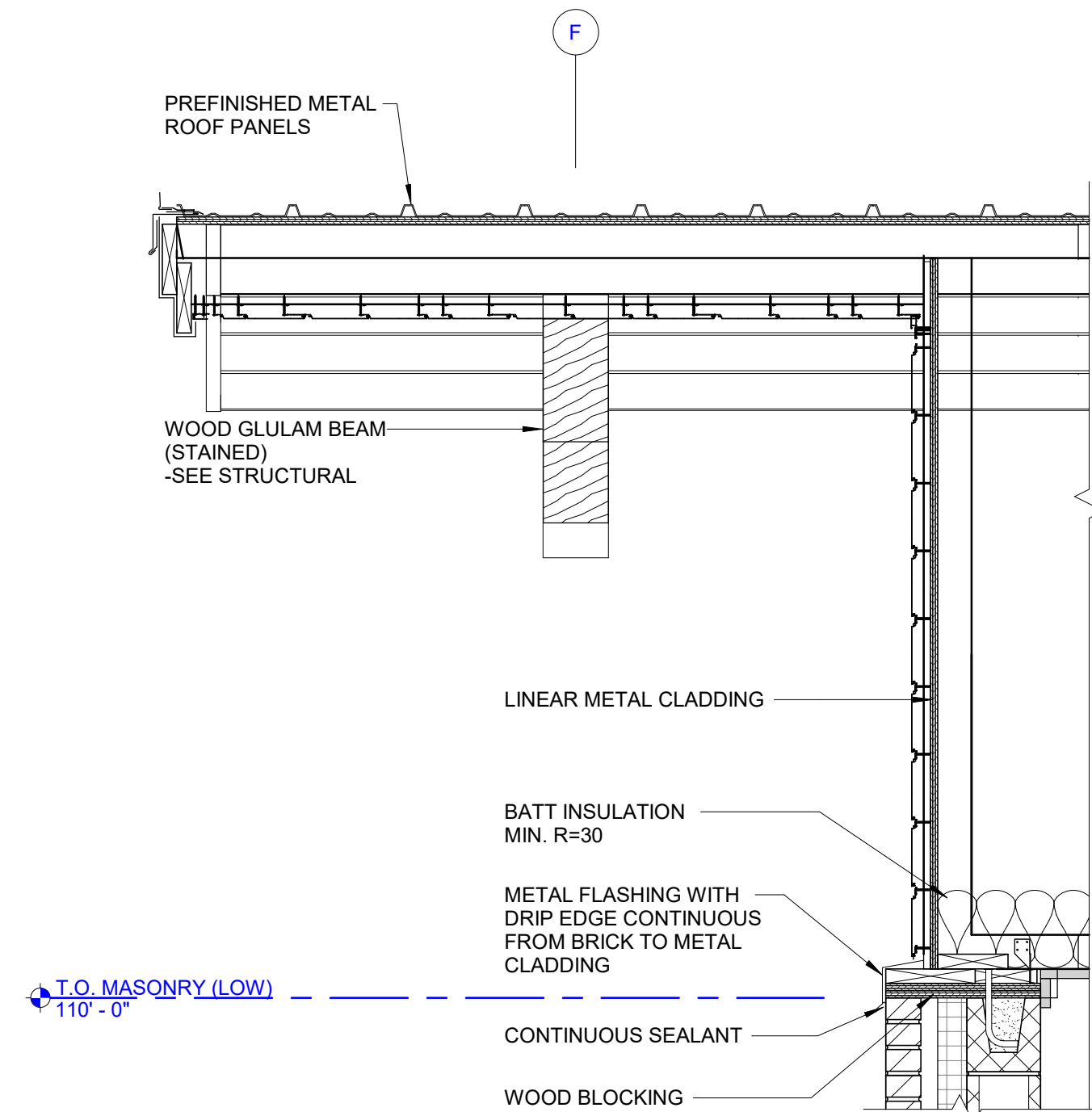
3 ROOF EDGE AT METAL ROOF
A812 3" = 1'-0"



4 ROOF TO WALL FLASHING
A812 1 1/2" = 1'-0"



5 ROOF EDGE AT MULTIPURPOSE
A812 1 1/2" = 1'-0"



6 OVERHANG AT RESTROOM
A812 3/4" = 1'-0"

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