



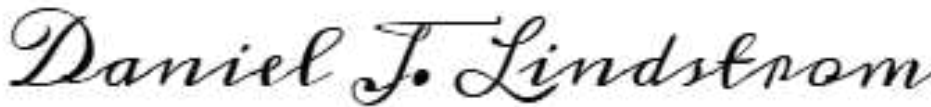
Planning/Zoning Application

Submitted On:

Nov 14, 2025, 04:34PM EST

Planning & Zoning Department

Parcel Number: (Include ALL parcels)	ED-875
Nearest property address to the project site:	Street Address: 206 N. Wisconsin Street 224 N Wisconsin ST City: De Pere State: WI Zip: 54115
Check each project type that is being applied for:	Site Plan
Current De Pere Zoning Districts:	MX1
Existing Site Land Uses:	Undeveloped/Vacant/Agricultural
Proposed Site Land Uses:	Public & Civic
Does the project comply with the Comprehensive Plan?	Yes
Has City Staff been contacted for a pre-consultation meeting?	Yes
Property Owner:	First Name: The City of Last Name: De Pere
Is the property owner's address the same as the nearest property address?	No
Property Owner's Address:	Street Address: 335 S. Broadway City: De Pere State: WI Zip: 54115
Property Owner's Phone Number:	(920) 339-4043
Property Owner's Email Address:	dlindstrom@deperewi.gov
Is someone processing the project for the property owner as their authorized representative?	Yes
Authorized Representative's Name:	First Name: Daniel Last Name: Lindstrom
Authorized Representative's Business Name:	City of De Pere, Development Services

Authorized Representative's Address:		Street Address: 335 S. Broadway City: De Pere State: WI Zip: 54115
Authorized Representative's Phone Number:		(920) 339-4043
Authorized Representative's Email Address:		dlindstrom@deperewi.gov
Please attach a PDF copy of the site plan.		City of De Pere Parking Facility Site Plan Review Drawings.pdf
Please attach a CAD copy of the property that shows the footprint of all hard, impervious surfaces. (Only one page needed, not the entire site plan.)		City of De Pere Parking Facility Site Plan.dwg
Would you like a basic checklist of information to include in the site plan?		No
How do you plan on paying for your application?		City is the petitioner
Total Due:		\$350.00
Signature Data	First Name: Daniel Last Name: Lindstrom Email Address: dlindstrom@deperewi.gov  Signed at: November 14, 2025 4:33pm America/New_York	
User's Session Information		IP Address: 143.170.98.20 Referrer URL: https://statics.teams.cdn.office.net/

CITY OF DE PERE

DE PERE PARKING FACILITY

250 N. WISCONSIN STREET, DE PERE, WISCONSIN 54115

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G-001 TITLE SHEET

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C-200 SITE LAYOUT, UTILITY, & PAVING PLAN
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PROJECT TEAM

FUNCTIONAL PARKING ENGINEER

GRAEF
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<https://graef-usa.com/>

PROJECT CONTACT: Jason Gross
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STRUCTURAL ENGINEER

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ARCHITECT

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PROJECT CONTACT: Curt Hoffmann
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LANDSCAPE ARCHITECT

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CIVIL ENGINEER

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116 S. Adams Street Suite 201
Green Bay, WI 54301
Phone: (920) 592-9440
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EMAIL ADDRESS: mindy.gardner@graef-usa.com

PLUMBING ENGINEER

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275 West Wisconsin Avenue, Suite 300
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Phone: (414) 259-1500
<https://graef-usa.com/>

PROJECT CONTACT: Jessica Culver
DIRECT PHONE: (414) 266-9009
EMAIL ADDRESS: jessica.culver@graef-usa.com

MECHANICAL ENGINEER

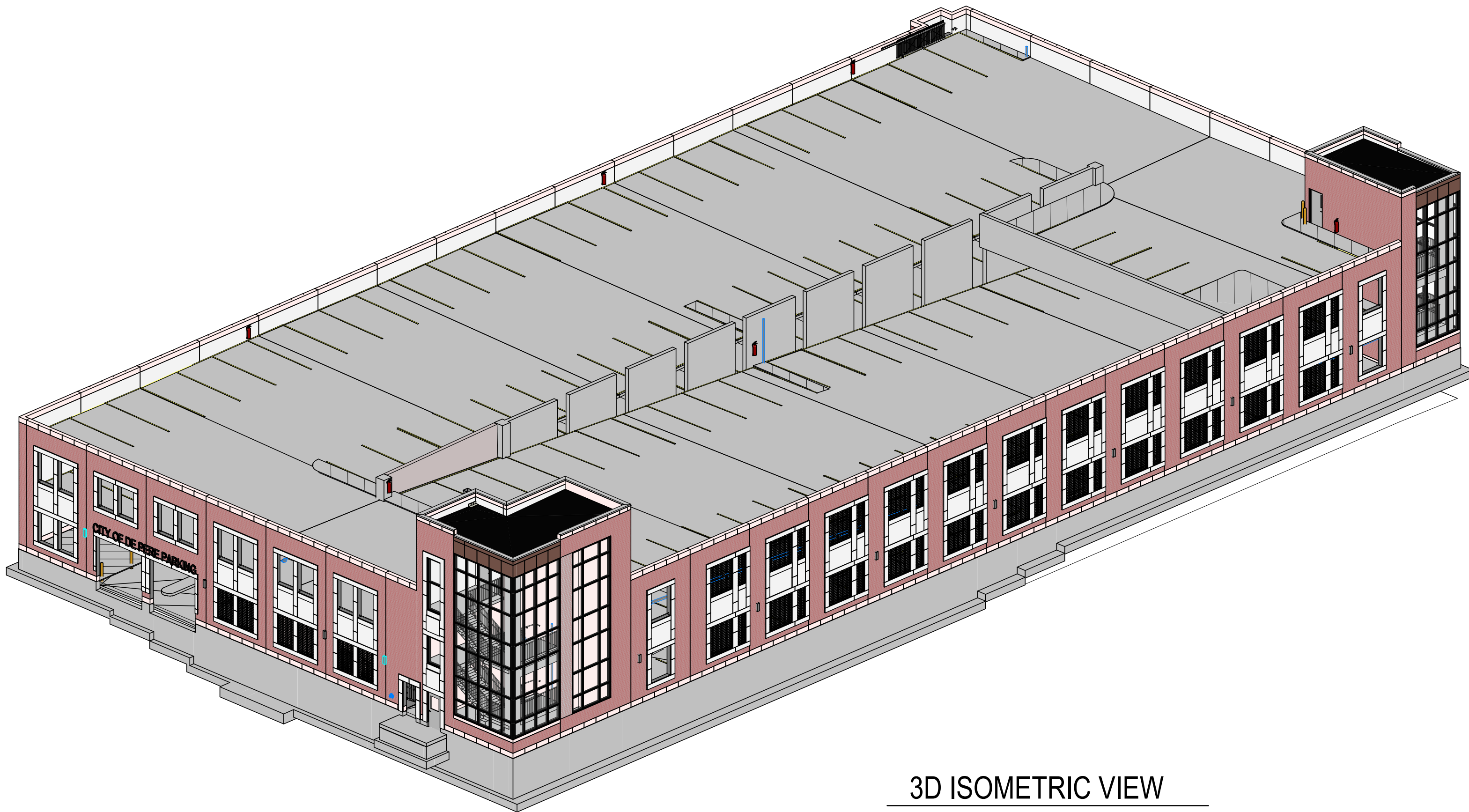
GRAEF
275 West Wisconsin Avenue, Suite 300
Milwaukee, WI 53203
Phone: (414) 259-1500
<https://graef-usa.com/>

PROJECT CONTACT: Jessica Culver
DIRECT PHONE: (414) 266-9009
EMAIL ADDRESS: jessica.culver@graef-usa.com

ELECTRICAL ENGINEER

GRAEF
275 West Wisconsin Avenue, Suite 300
Milwaukee, WI 53203
Phone: (414) 259-1500
<https://graef-usa.com/>

PROJECT CONTACT: David Krajnak
DIRECT PHONE: (414) 266-9297
EMAIL ADDRESS: david.krajnak@graef-usa.com



3D ISOMETRIC VIEW

Site Statistics

Total Site Area (square feet): 37,616
Impervious Area (square feet): 30,967
Pervious Area (square feet): 6,649
Percent Open Space: 17.7%
Parking Stalls Required: 0
Parking Stalls Provided: 224
Floor Area Ratio: 78.9%
Gross Square Footage: 29,662

ELECTRONIC FILE TRANSFER DISCLAIMER

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GRĀEF

275 West Wisconsin Avenue,
Suite 300
Milwaukee, WI 53203
414 / 259 1500

www.graef-usa.com

CLIENT:



CITY OF DE PERE
335 S. BROADWAY
DE PERE, WI 54115

PROJECT TITLE:

DE PERE PARKING FACILITY

250 N. WISCONSIN STREET,
DE PERE, WISCONSIN 54115

DESIGN ARCHITECT:

bernerschber

310 PINE ST.
GREEN BAY, WI 54301

ISSUE:

1 09/16/2025 ISSUED FOR BID

PROJECT INFORMATION:

PROJECT NUMBER: 2025-0025.00

DATE: 09/16/2025

DRAWN BY: EKS

CHECKED BY: RMG

APPROVED BY: CWH

SCALE: AS NOTED

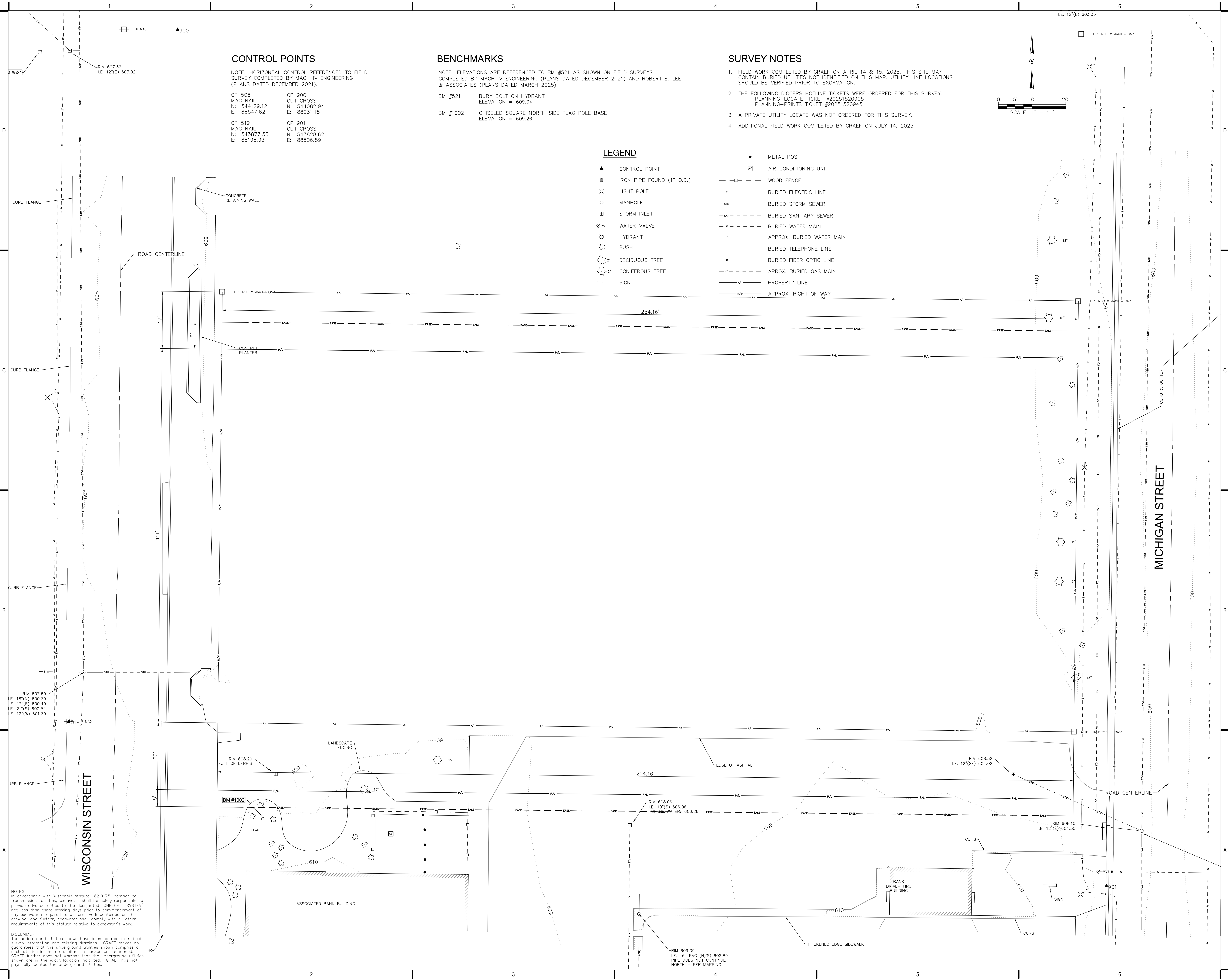
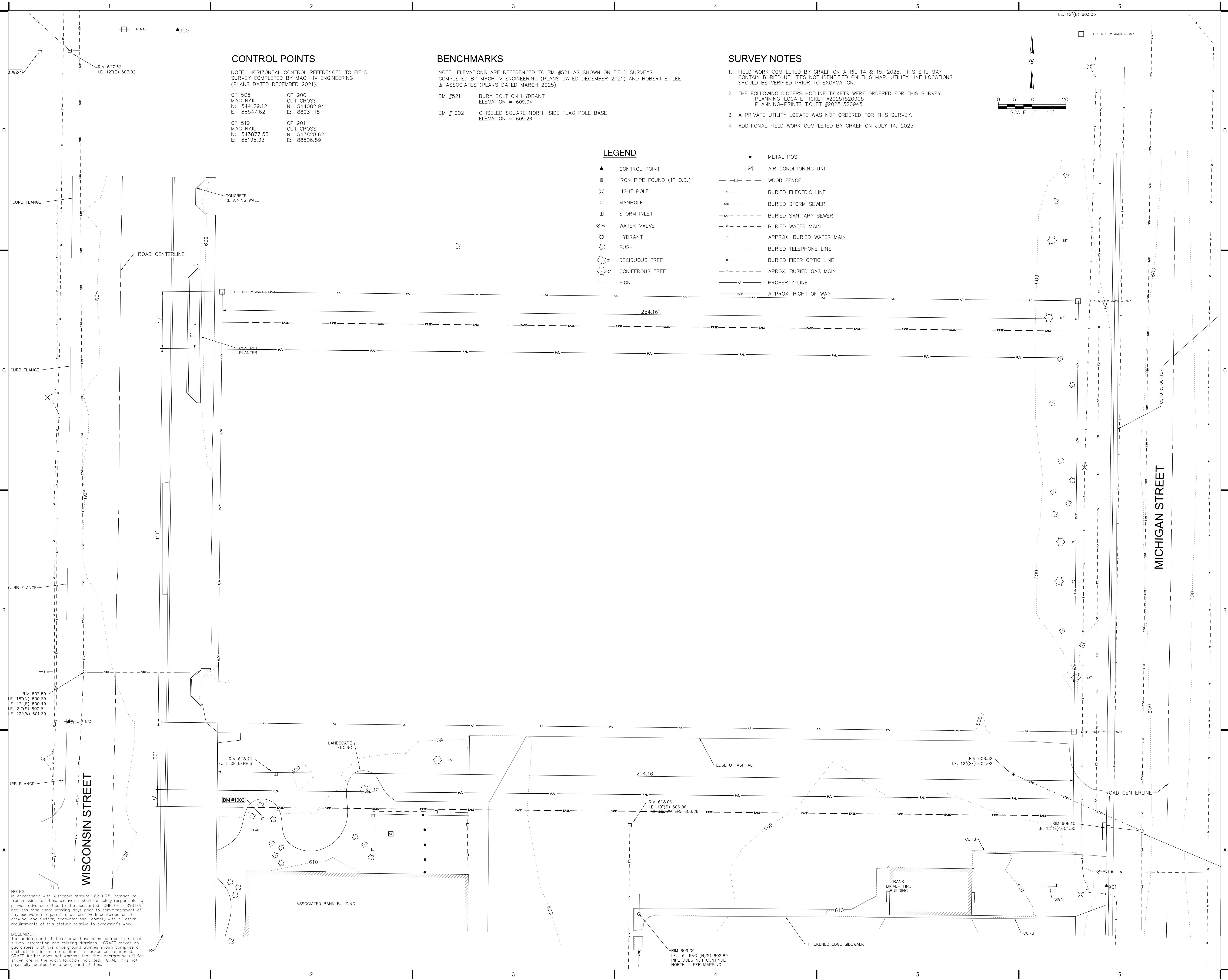
SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

G-001

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Suite 201
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920 / 592 9440

CITY OF DE PERE
335 S. BROADWAY
DE PERE, WISCONSIN 54115

PROJECT TITLE:
DE PERE PARKING FACILITY

250 N. WISCONSIN STREET
DE PERE, WISCONSIN 54115

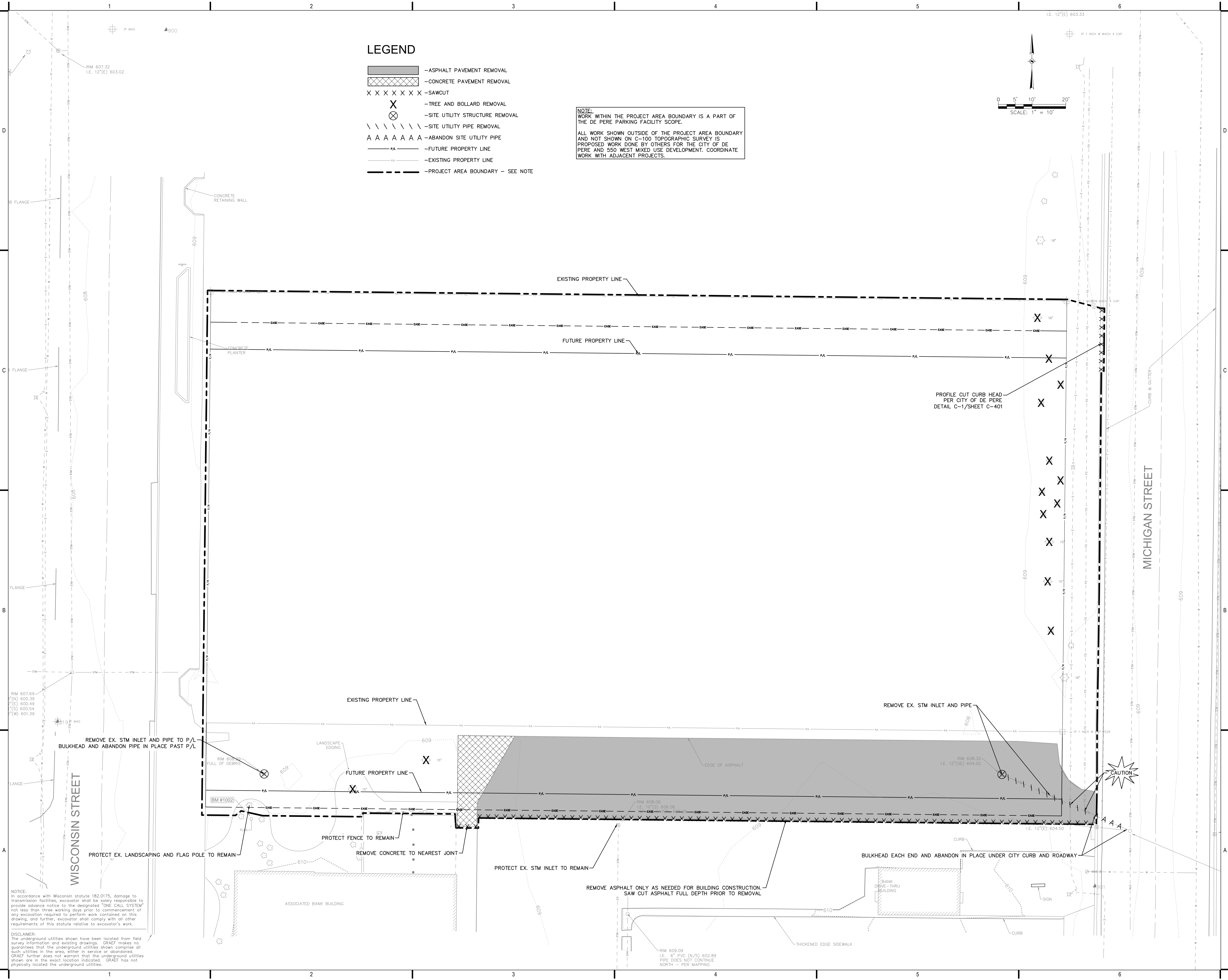
ISSUE:
NO. DATE REVISIONS BY
1 09/16/2025 ISSUE FOR BID

PROJECT INFORMATION:
PROJECT NUMBER: 2025-0025
DATE: 09/16/2025
DRAWN BY: CEP
CHECKED BY: MEG
APPROVED BY: MEG
SCALE: AS NOTED

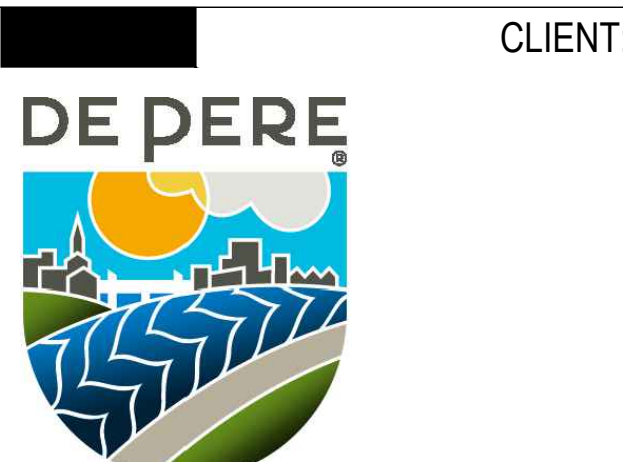
SHEET TITLE:
TOPOGRAPHIC SURVEY

SHEET NUMBER:
C-100

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Suite 201
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920 / 592 9440



CITY OF DE PERE
335 S. BROADWAY
DE PERE, WISCONSIN 54115

PROJECT TITLE:
DE PERE PARKING FACILITY

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NO.		DATE	REVISIONS	BY	ISSUE:
1	09/16/2025	ISSUE FOR BID			

PROJECT INFORMATION:
PROJECT NUMBER: 2025-0025
DATE: 09/16/2025
DRAWN BY: CEP
CHECKED BY: MEG
APPROVED BY: MEG
SCALE: AS NOTED

SHEET TITLE:
SITE DEMOLITION PLAN

SHEET NUMBER:

C-101



CITY OF DE PERE
335 S. BROADWAY
DE PERE, WISCONSIN 54115

PROJECT TITLE:
DE PERE PARKING FACILITY

250 N. WISCONSIN STREET
DE PERE, WISCONSIN 54115

ISSUE:			
NO.	DATE	REVISIONS	BY
1	09/16/2025	ISSUE FOR BID	

PROJECT INFORMATION:
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CHECKED BY: MEG
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SCALE: AS NOTED

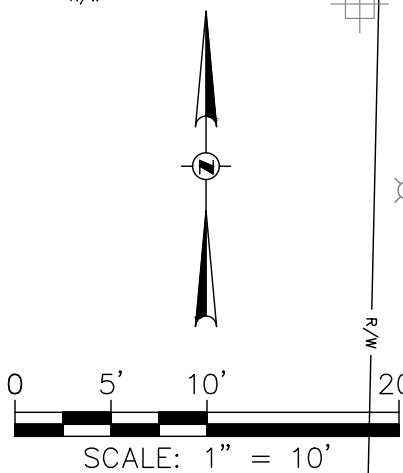
SHEET TITLE:
SITE EROSION CONTROL PLAN

SHEET NUMBER:

LEGEND

- SCE -STONE CONSTRUCTION ENTRANCE
- SF -SILT FENCE
- S -INLET PROTECTION
- SEDIMENT LOG
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STORM INLET
- PROPOSED CITY OF DE PERE INLET
- PA -FUTURE PROPERTY LINE
- EXISTING PROPERTY LINE
- PROJECT AREA BOUNDARY - SEE NOTE

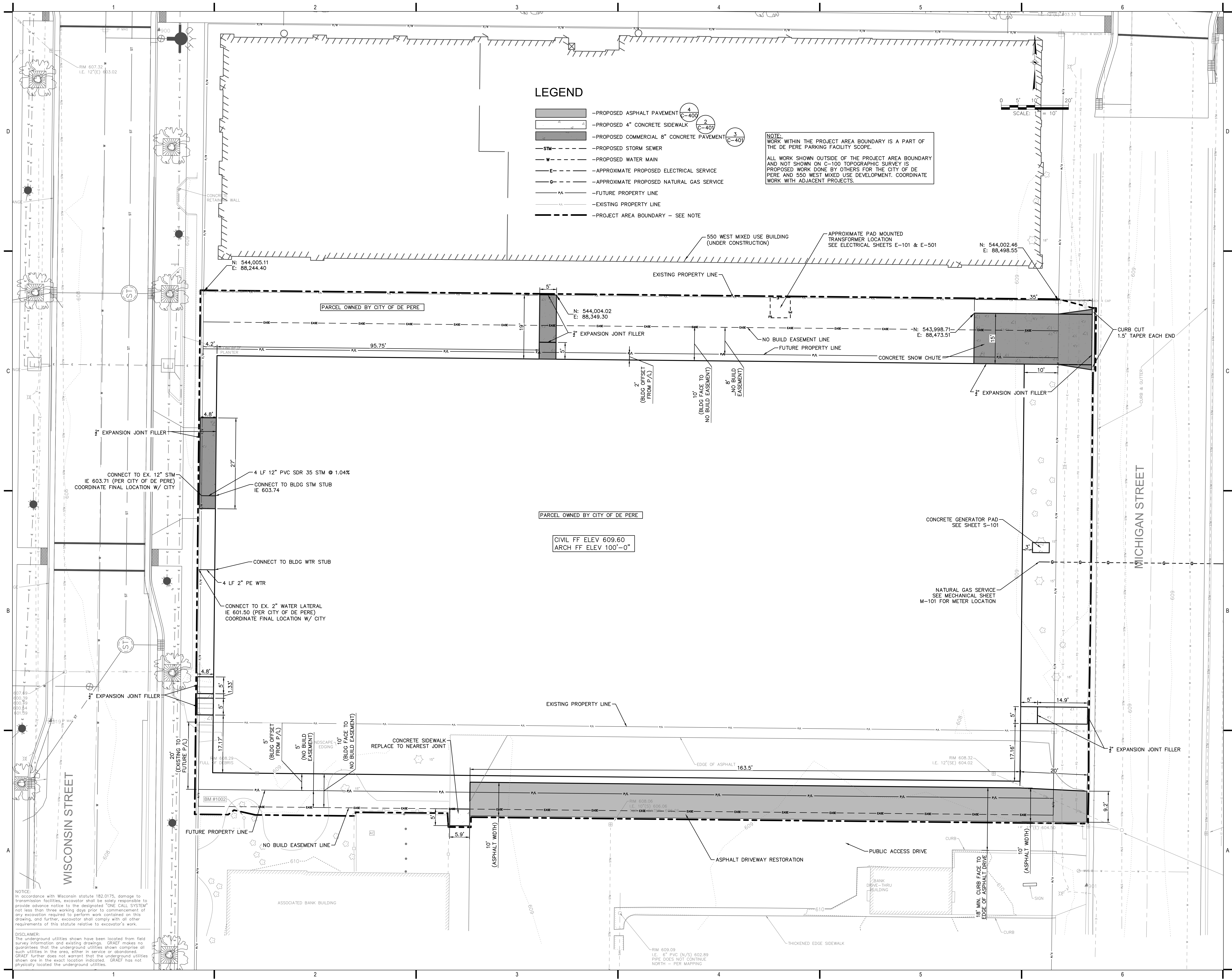
NOTE:
WORK WITHIN THE PROJECT AREA BOUNDARY IS A PART OF THE DE PERE PARKING FACILITY SCOPE.
ALL WORK SHOWN OUTSIDE OF THE PROJECT AREA BOUNDARY AND NOT SHOWN ON C-100 TOPOGRAPHIC SURVEY IS PROPOSED WORK DONE BY OTHERS FOR THE CITY OF DE PERE AND 550 WEST MIXED USE DEVELOPMENT. COORDINATE WORK WITH ADJACENT PROJECTS.



CIVIL FF ELEV 609.60
ARCH FF ELEV 100'-0"

NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. GRÄEF makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. GRÄEF further does not warrant that the underground utilities shown are in the exact location indicated. GRÄEF has not physically located the underground utilities.





CITY OF DE PERE
335 S. BROADWAY
DE PERE, WISCONSIN 54115

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250 N. WISCONSIN STREET
DE PERE, WISCONSIN 54115

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NO. DATE REVISIONS BY
1 09/16/2025 ISSUE FOR BID

PROJECT INFORMATION:
PROJECT NUMBER: 2025-0025
DATE: 09/16/2025
DRAWN BY: CEP
CHECKED BY: MEG
APPROVED BY: MEG
SCALE: AS NOTED

SHEET TITLE:
SITE GRADING PLAN

SHEET NUMBER:

LEGEND

- 100--- -EXISTING CONTOUR
- 100- -PROPOSED CONTOUR
- -GRASS SWALE
- 609.60 -SPOT ELEVATION
- 609.50
609.00 -TOP OF CURB
-BOTTOM OF CURB
- ME -MATCH EXISTING GRADES
- REL -PROPOSED ROBERT E LEE GRADES (PROJECT 3439017, SENT 04-07-2025)
- CDP -PROPOSED CITY OF DE PERE GRADES (PROJECT 25-11, SENT 08/20/2025)
- PA -FUTURE PROPERTY LINE
- PA -EXISTING PROPERTY LINE
- -PROJECT AREA BOUNDARY - SEE NOTE

NOTE:
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0 5 10' 20'
SCALE: 1" = 10'

CIVIL FF ELEV 609.60
ARCH FF ELEV 100'-0"

NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

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GENERAL NOTES

1. EXISTING CONDITIONS FOR THIS PLAN ARE BASED ON SURVEY BY GRAEF DATED APRIL AND JULY 2025. ALL UNDERGROUND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND DEPTH.
2. IN ACCORDANCE WITH WISCONSIN STATUTE 182.01, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THIS DRAWING, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.
3. CONSTRUCTION MANAGER IS RESPONSIBLE FOR CONDUCTING PRIVATE UTILITY LOCATE PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED IN THESE DRAWINGS.
4. COORDINATES ARE BASED ON THE WISCONSIN COORDINATE REFERENCE SYSTEMS (WICRS), BROWN COUNTY, NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).

REMOVAL NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LINES NOTED FOR REMOVAL. EXISTING UTILITIES TO BE REMOVED SHALL BE REMOVED TO THE LIMITS SHOWN ON THE PLAN. ALL UTILITY STRUCTURES LOCATED ON REMOVED UTILITY LINES SHALL BE REMOVED IN THEIR ENTIRETY. EXISTING UTILITIES THAT ARE TO BE REMOVED SHALL REMAIN IN SERVICE UNTIL NEW UTILITIES ARE INSTALLED UNLESS OTHERWISE DIRECTED.
2. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF PAVEMENTS, CURB AND GUTTER, VEGETATION, ABOVE GROUND APPURTENANCES, OR ANY OTHER ITEM SCHEDULED TO REMAIN THAT IS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES AS DETERMINED BY OWNER. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED ITEMS AT NO COST TO THE OWNER.
3. ASPHALT PAVEMENT NOTED FOR REMOVAL SHALL BE SAW CUT TO FULL DEPTH PRIOR TO REMOVAL.
4. REMOVAL DIMENSIONS SHALL CORRESPOND TO THE PROPOSED WORK INDICATED ON THE SITE PLAN AND OTHER SITE/CIVIL PLAN SHEETS.
5. ALL CONSTRUCTION WASTE SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF IN ACCORDANCE WITH STATE STATUTE. CONCRETE TRUCK WASHOUT SHALL BE COMPLETED WITHIN THE CONSTRUCTION LIMITS ADJACENT TO SEDIMENTATION AREAS AND AWAY FROM ALL STORMWATER COLLECTION STRUCTURES. HARDENED CONCRETE WASTE SHALL EITHER BE REMOVED FROM SITE OR USED AS BACKFILL IN APPROVED LOCATIONS.
6. PHOTO DOCUMENT CONDITION OF EXISTING PAVEMENTS TO REMAIN PRIOR TO BEGINNING WORK.

EROSION CONTROL NOTES

1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF DE PERE, AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS".
2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE. USE CONTROLS APPROPRIATE FOR FROZEN GROUND (SEDIMENT LOGS, TARPS, ETC.) DURING WINTER CONSTRUCTION.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED AND DOCUMENTED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. REPAIRS AND MAINTENANCE SHALL BE COMPLETED WITHIN 24 HOURS OF INSPECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY.
4. SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
5. STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED BY TURNING OVER THE STONE OR BY PLACING NEW STONE ONCE THE SURFACE BECOMES CLOGGED WITH SEDIMENT. ENTRANCE SHALL MEET ALL REQUIREMENTS OF THE WDNR TECHNICAL STANDARDS FOR TRACKING PAD.
6. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
7. SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE WDNR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS". WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
8. WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
9. TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE CITY, BEFORE THE END OF EACH WORKDAY, OR MORE FREQUENTLY IF PUBLIC HEALTH AND/OR SAFETY ISSUES ARISE. FLUSHING MAY NOT BE USED. NOTIFY CITY OF DE PERE FOR CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
10. SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE THE WORK DAY OR MORE FREQUENTLY IF PUBLIC HEALTH AND/OR SAFETY ISSUES ARISE.
11. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, AND MULCHING SODDING, COVERING WITH TARPS, OR EQUIVALENT BEST MANAGEMENT PRACTICES. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
12. PERMANENT SEEDING SHALL BE ESTABLISHED NO LATER THAN SEPTEMBER 15TH. IF PERMANENT SEEDING IS NOT ESTABLISHED, TEMPORARY SEEDING SHALL BE ESTABLISHED NO LATER THAN OCTOBER 15TH. ALL SEEDED AREAS MUST BE MULCHED AT A RATE OF 1.5 TO 2 TONS PER ACRE AND ANCHORED BY EITHER CRIMPING OR BY APPLYING A TACKIFIER.
13. USE ANNUAL RYE SEED MIX AT 100 POUNDS PER ACRE AS A TEMPORARY SEED MIX. PERMANENT SEEDING SHALL FOLLOW WITHIN ONE YEAR. IF TEMPORARY SEEDING IS NOT ESTABLISHED BY OCTOBER 15TH, USE CLASS I TYPE A EROSION MATTING ON ALL SLOPES 4:1 OR STEEPER.
14. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BEST MANAGEMENT PRACTICES SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS SHALL BE REMOVED.
15. REPAIR SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES IMMEDIATELY UPON DISCOVERY.
16. KEEP A COPY OF THE EROSION CONTROL PLAN, CITY EROSION CONTROL PERMIT, AND INSPECTION RECORDS ON SITE.
17. USE WATERING, TACKIFIERS, AND/OR SOIL STABILIZERS TYPE A TO CONTROL DUST ACCORDING TO WDNR TECHNICAL STANDARD 106B.
18. PREVENT ANY WATER OR DEBRIS FROM SAW CUTTING FROM LEAVING THE SITE OR ENTERING THE STORM SEWER.

LAYOUT NOTES

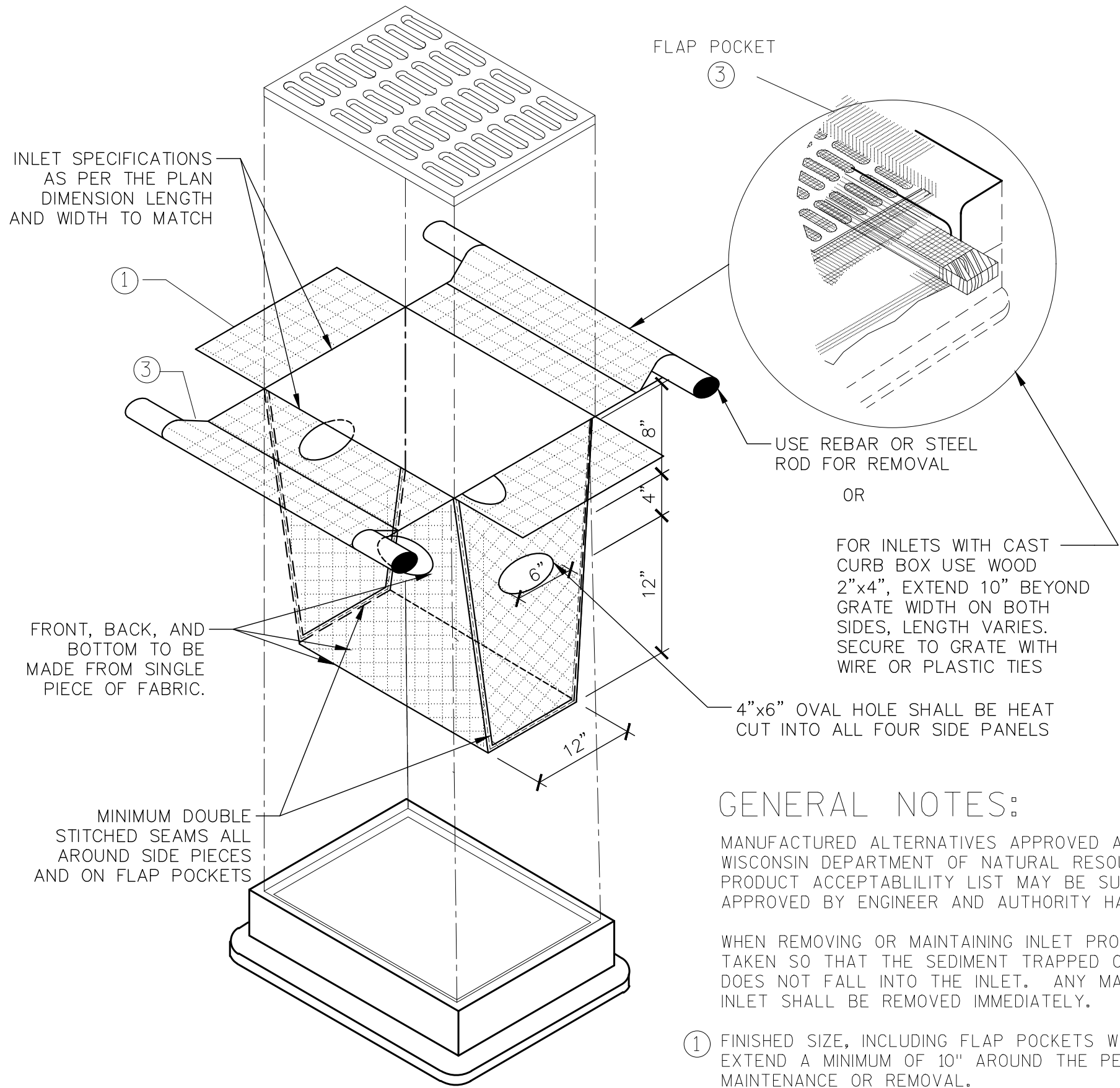
1. ALL DIMENSIONS SHOWN ARE TO DECIMAL FEET AND MEASURED FROM FACE OF CURB OR EDGE OF PAVEMENT, UNLESS SPECIFIED OTHERWISE. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
2. ALL ADA ACCESSIBLE ROUTES SHALL COMPLY WITH PROVISIONS OF THE AMERICAN WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN (ADAAG) INCLUDING CROSS-SLOPE, LONGITUDINAL SLOPE, WIDTH, AND OTHER REQUIREMENTS.
3. ALL STRIPING TO BE 4" WIDE, YELLOW UNLESS NOTED OTHERWISE.
4. PROVIDE CONTROL JOINTS FOR EXTERIOR CONCRETE AT EVENLY SPACED INTERVALS.
5. PROVIDE CONSTRUCTION JOINTS FOR EXTERIOR CONCRETE AT EVENLY SPACED INTERVALS.
7. BUILDING OUTLINES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED FOR STAKING PURPOSES. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND STRUCTURAL ENGINEER ON STAKING THE BUILDINGS.
8. REFER TO LANDSCAPING PLAN FOR TURF AND PLANTING AREAS.
9. ALL SIDEWALK, DRIVEWAYS, AND PAVEMENT REMOVED AND PAVEMENT RESTORATION IN PUBLIC RIGHT OF WAY SHALL MEET CITY OF DE PERE STANDARDS.

UTILITY NOTES

1. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE AND OWNER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL COMPLY WITH THE PERTINENT PROVISIONS OF THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
3. ALL BUILDING SERVICE LATERALS SHALL BE IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES.
4. VERIFY WATER SERVICE CONNECTION INVERTS PRIOR TO STARTING WORK. PROVIDE A MINIMUM OF 6" OF COVER OVER ALL WATER SERVICE PIPE AND FITTINGS OR INSULATE PER CODE.
7. COORDINATE WITH PRIVATE UTILITIES FOR INSTALLATION OF NEW ELECTRIC, GAS, TELEPHONE, ETC. LOCATIONS SHOWN ARE APPROXIMATE.

GRADING NOTES

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS AT MATCH POINTS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
2. EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE OR STOCKPILED AT LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT OF ANY MATERIAL. STOCKPILES SHALL BE ENCLOSED WITH SILT FENCE UNTIL TEMPORARY OR PERMANENT VEGETATIVE COVER IS ESTABLISHED.
3. THIS PLAN SHOWS NEW CONTOURS AND FINISHED GRADES. FOR ROUGH GRADES OF ALL PAVEMENT AREAS, SUBTRACT THICKNESS OF PAVEMENT AND BASE COURSE SPECIFIED.
4. UPON REASONABLE NOTICE, CONTRACTOR SHALL ALLOW ACCESS TO THE PROJECT SITE DURING REASONABLE HOURS TO ANY DEPARTMENT OF NATURAL RESOURCES EMPLOYEE WHO IS INVESTIGATING THE PROJECT'S CONSTRUCTION, OPERATION, MAINTENANCE OR PERMIT COMPLIANCE.
5. WHEN SPOT ELEVATIONS SHOWN REFER TO CRITICAL POINTS SUCH AS PAVEMENT ANGLE POINTS AND CURVE-TANGENT INTERSECTIONS, THEIR LOCATION WILL CORRESPOND WITH COORDINATES. VERIFY SPOT ELEVATION AND COORDINATE RELATIONSHIP WITH THE OWNER'S REPRESENTATIVE.
6. REFERENCE SHEET C-100 FOR BENCHMARK INFORMATION.
7. ALL EXISTING MANHOLES AND INLETS, FRAMES AND GRATES, VALVE BOXES, AND UTILITY STRUCTURES THAT ARE IN AREAS TO BE REGRADED SHALL BE ADJUSTED TO MATCH THE PROPOSED GRADING.
8. REFER TO STRUCTURAL AND ARCHITECTURAL PLANS FOR DETAILED INFORMATION AT BUILDING ENTRANCES AND MATCH POINTS.



GENERAL NOTES:

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED WHEN APPROVED BY ENGINEER AND AUTHORITY HAVING JURISDICTION.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

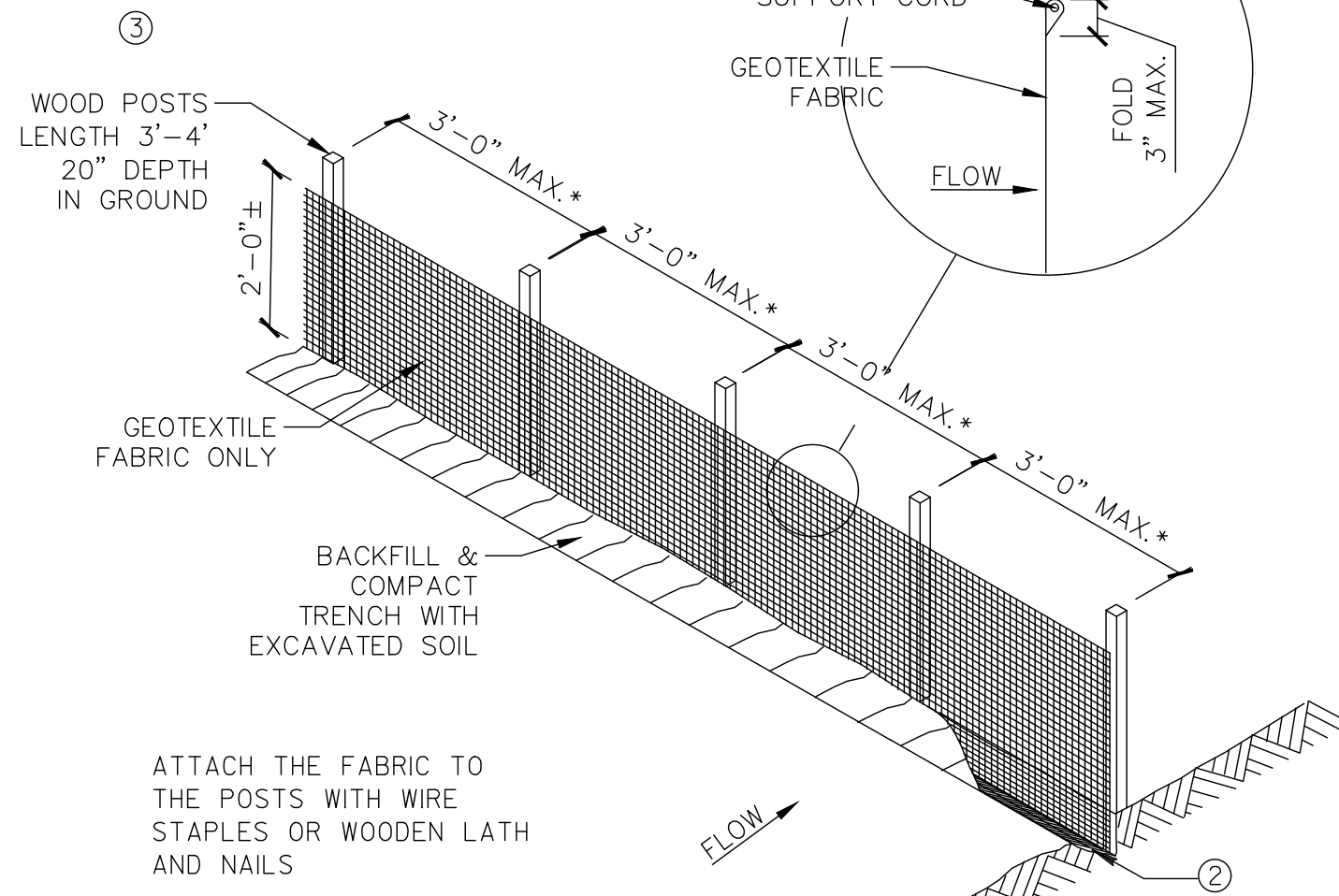
- ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- ② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 38" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- ③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

1 INLET PROTECTION
SCALE N.T.S.

④ SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.

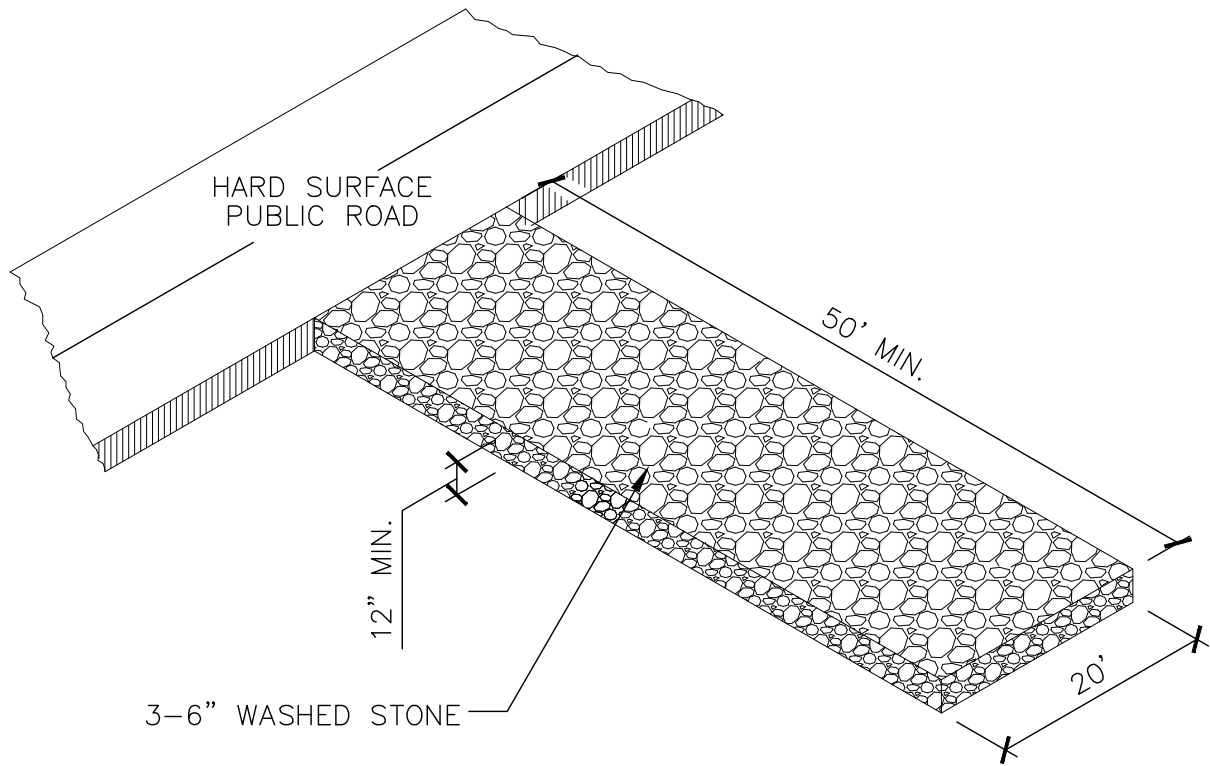
⑤ CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE. AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.

NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS

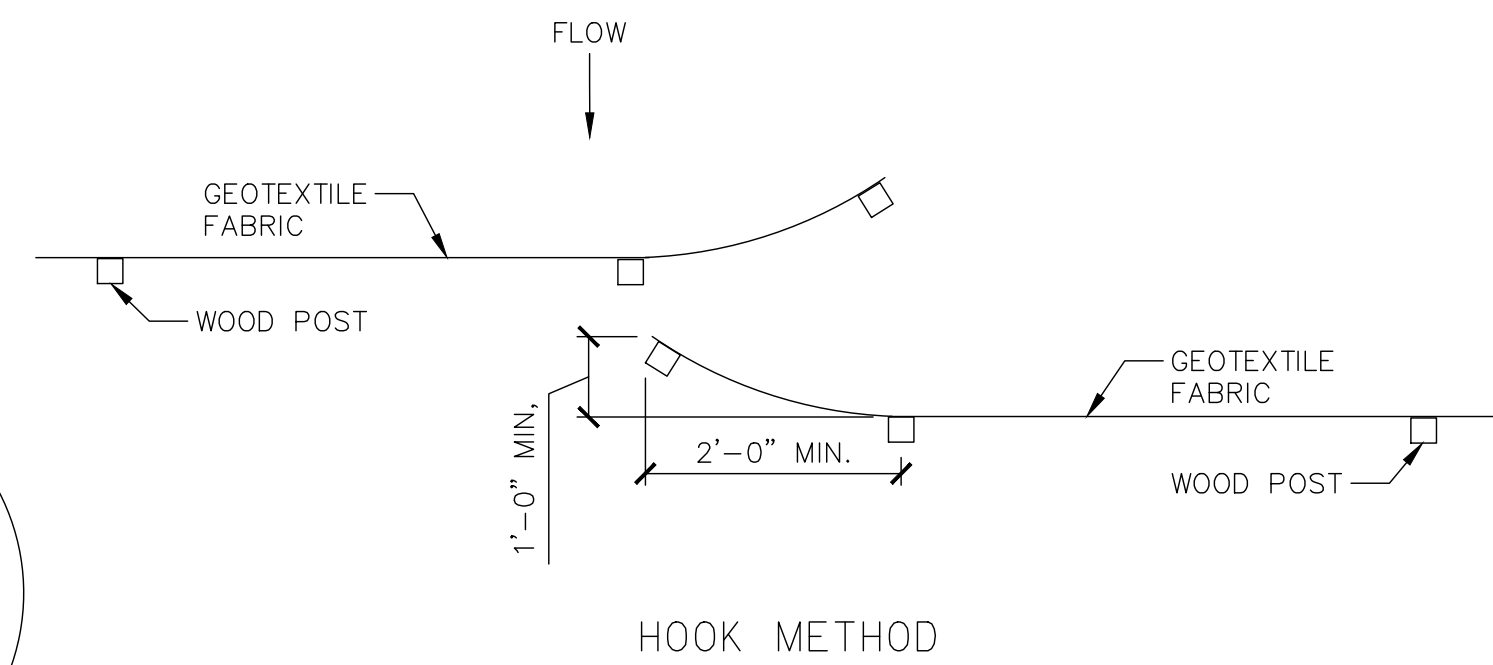


* NOTE: 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.

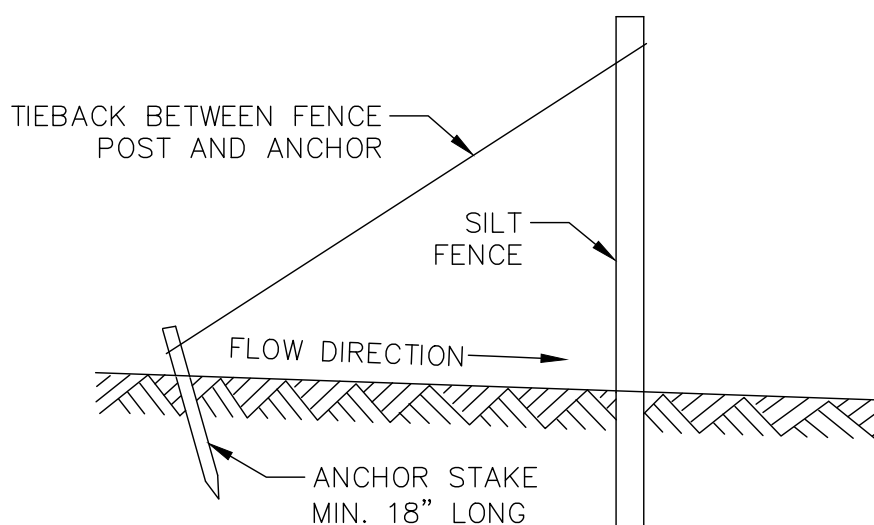
2 SILT FENCE
SCALE N.T.S.



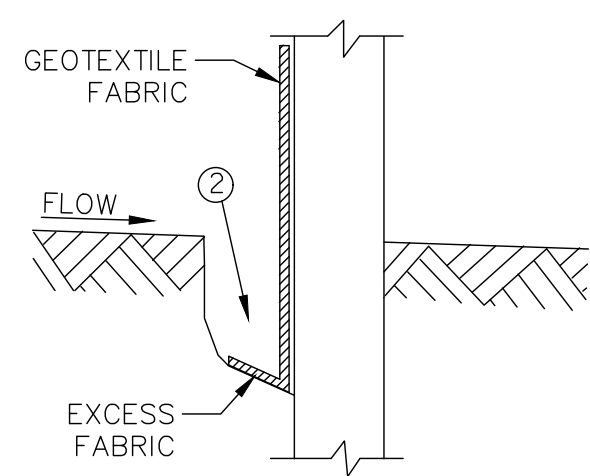
3 STONE CONSTRUCTION ENTRANCE
SCALE N.T.S.



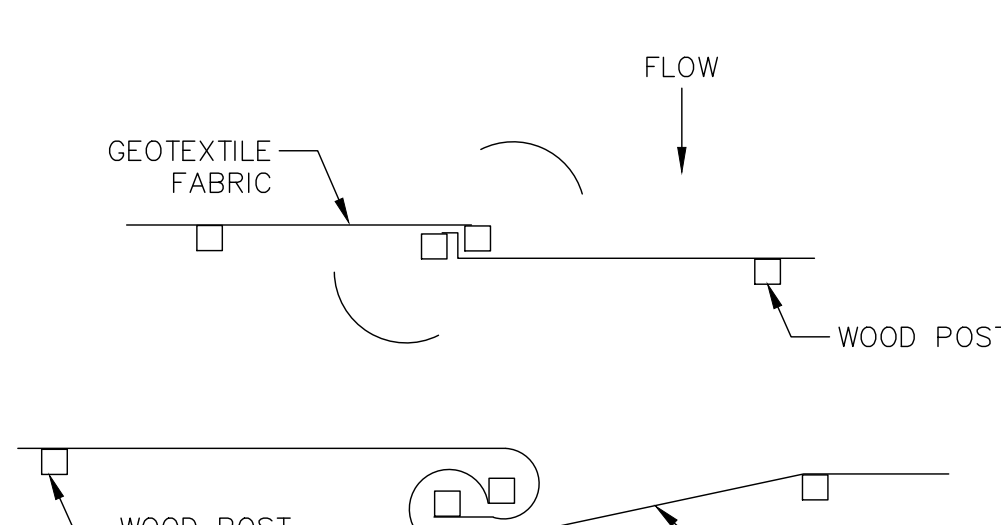
JOINING TWO LENGTHS OF SILT FENCE ⑤



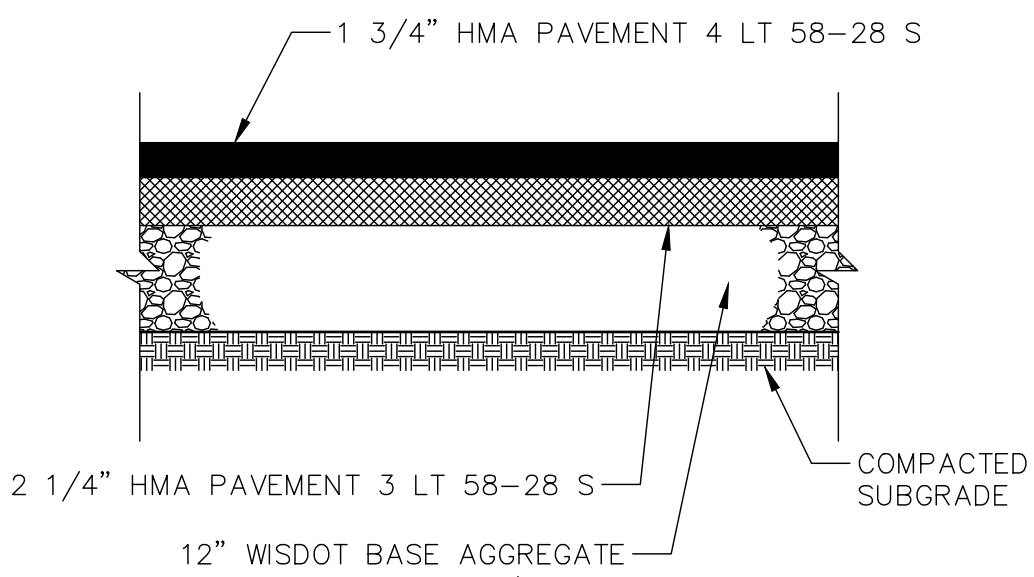
SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)



TRENCH DETAIL



Twist Method



4 TYPICAL ASPHALT PAVEMENT SECTION
SCALE N.T.S.

NOTICE:
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DISCLAIMER:
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116 S Adams Street,
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920 / 592 9440



CITY OF DE PERE
335 S. BROADWAY
DE PERE, WISCONSIN 54115

PROJECT TITLE:
DE PERE PARKING FACILITY

250 N. WISCONSIN STREET
DE PERE, WISCONSIN 54115

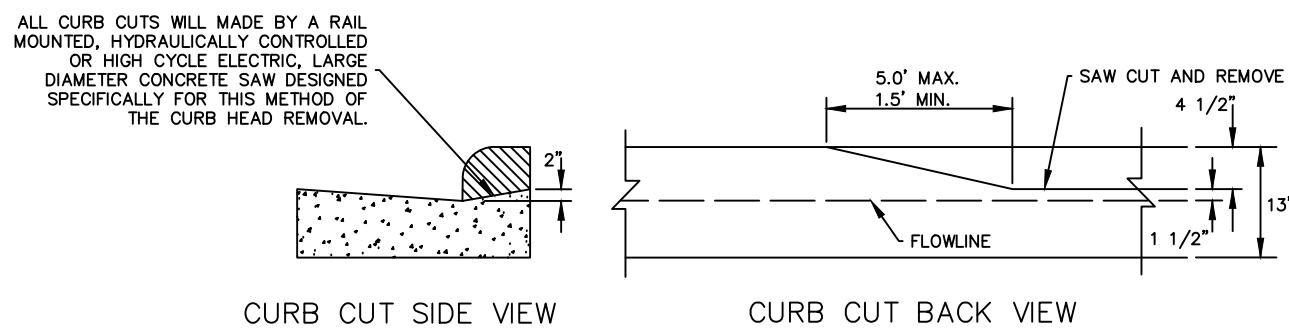
ISSUE:
NO. DATE REVISIONS BY
1 09/16/2025 ISSUE FOR BID

PROJECT INFORMATION:
PROJECT NUMBER: 2025-0025
DATE: 09/16/2025
DRAWN BY: CEP
CHECKED BY: MEG
APPROVED BY: MEG
SCALE: AS NOTED

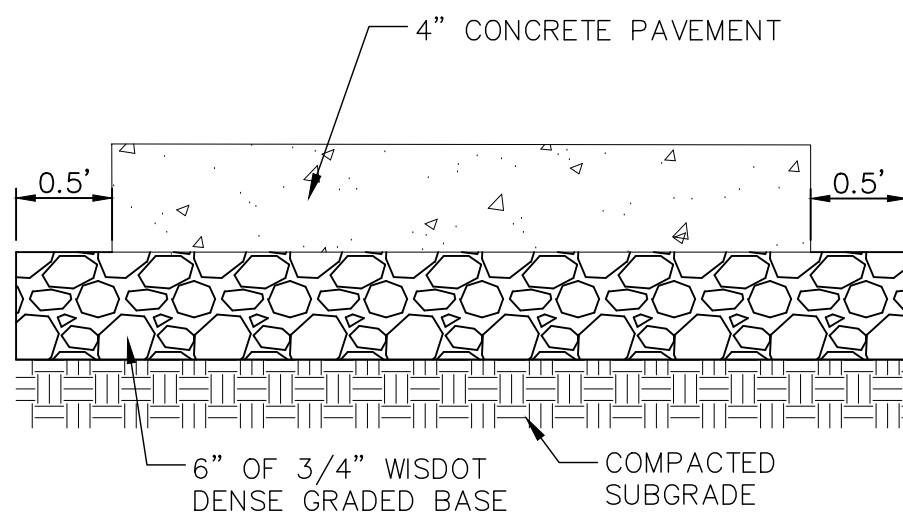
SHEET TITLE:
CONSTRUCTION DETAILS

SHEET NUMBER:

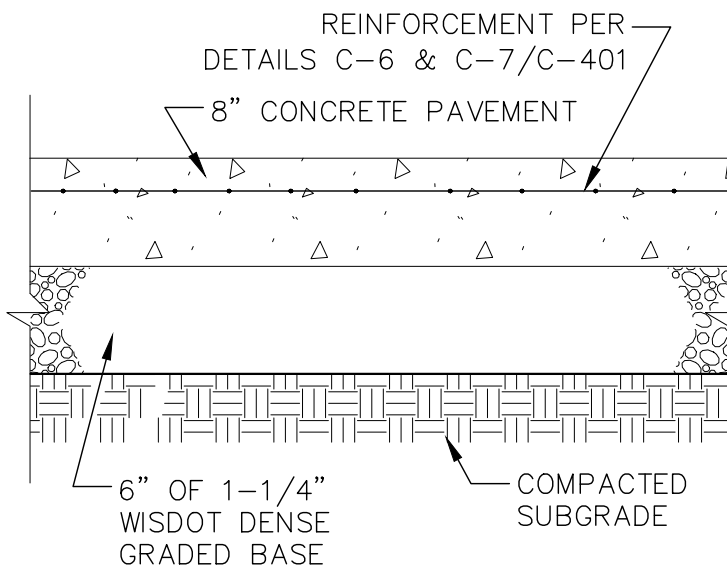
C-400



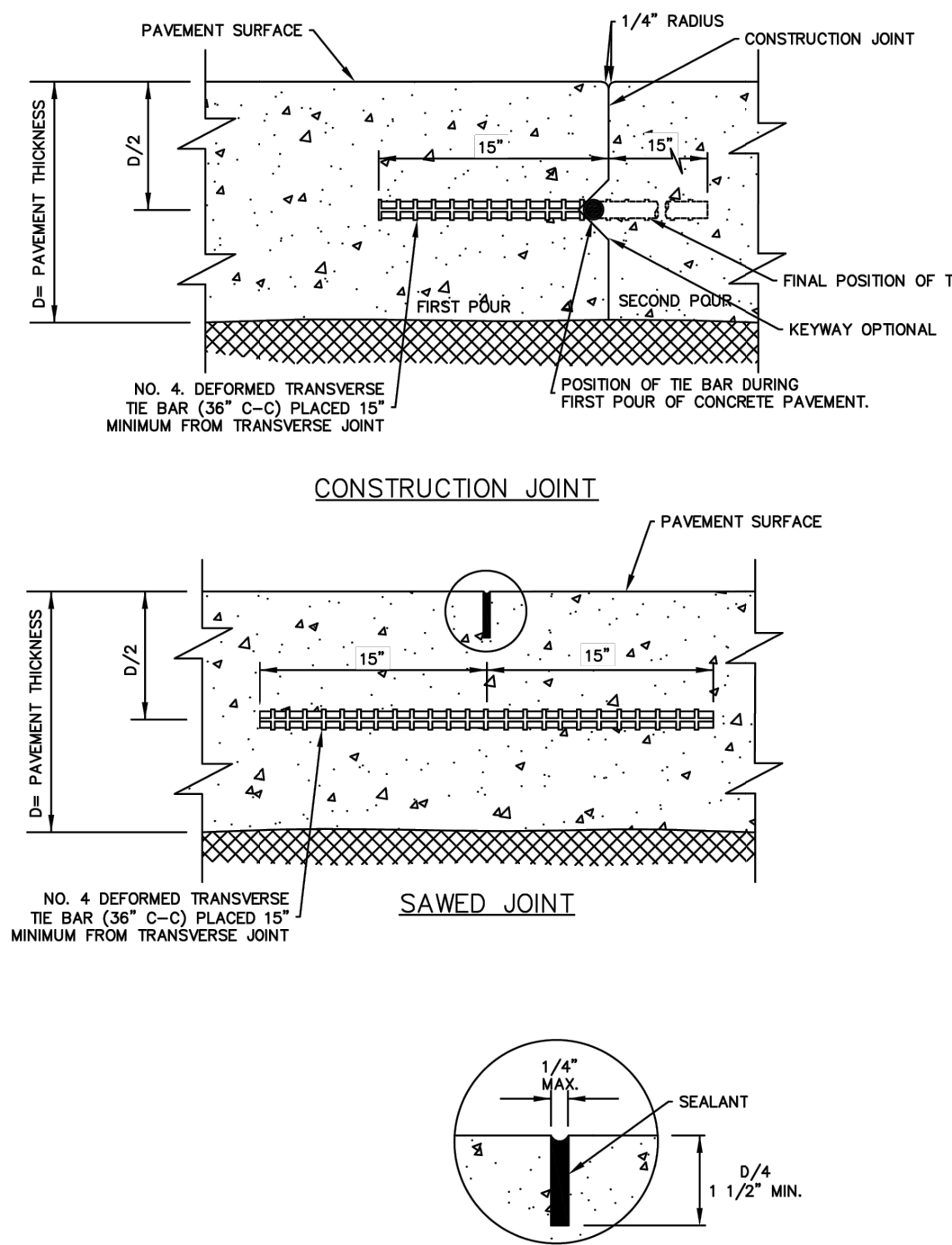
1 CURB SAW CUT
SCALE N.T.S.



2 CONCRETE SIDEWALK
SCALE N.T.S.

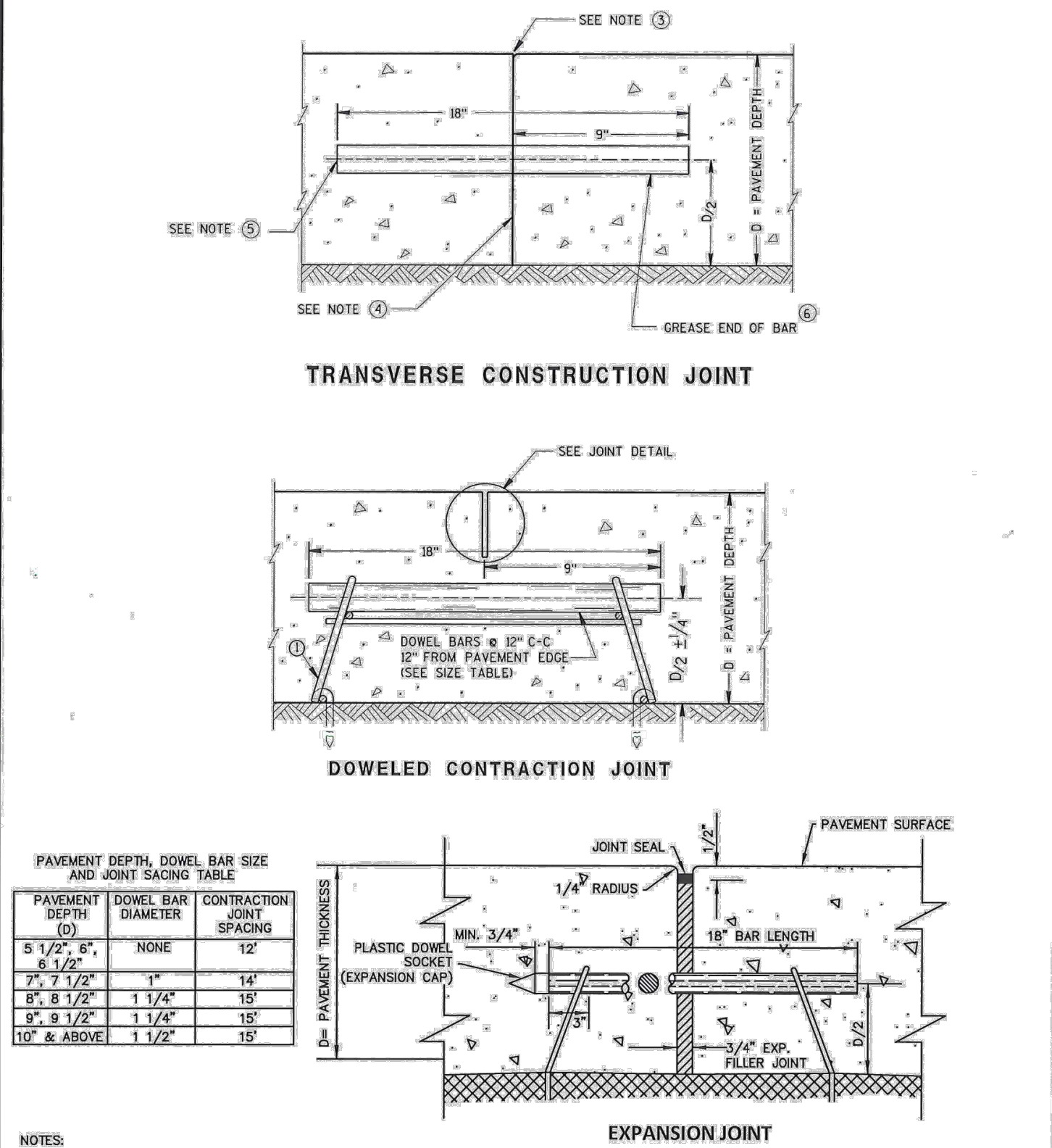


3 CONCRETE PAVEMENT
SCALE N.T.S.

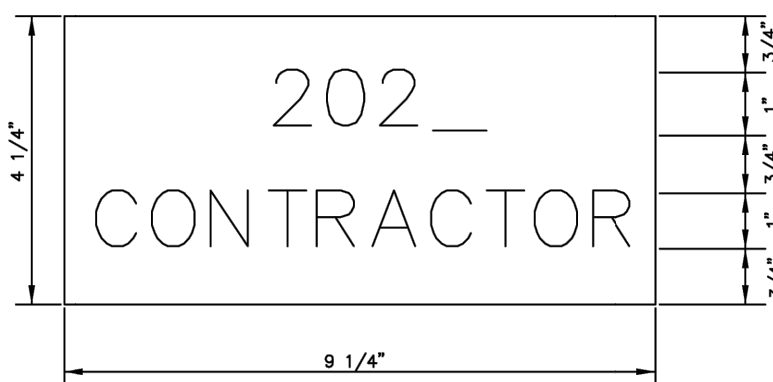


NOTE:
1. ALL TIE BARS, PAVEMENT TIES AND DOWELS SHALL BE EPOXY COATED.

	TITLE: LONGITUDINAL JOINTS	
	DIVISION: 32	
	DRAWING NO: C-7	
	DATE: 12/2019 BY: KAD CHECKED: EPR	
ENGINEERING DIVISION 925 S. SIXTH ST DE PERE, WI 54115 OFFICE 920-339-4061 FAX 920-339-4071		



	TITLE: TRANSVERSE JOINTS	
	DIVISION: 32	
	DRAWING NO: C-6	
	DATE: 12/2019 BY: KAD CHECKED: EPR	
ENGINEERING DIVISION 925 S. SIXTH ST DE PERE, WI 54115 OFFICE 920-339-4061 FAX 920-339-4071		

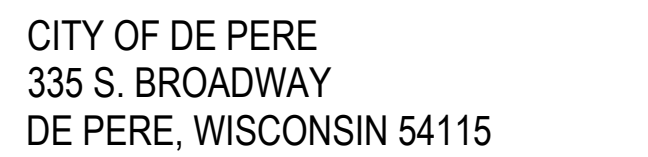
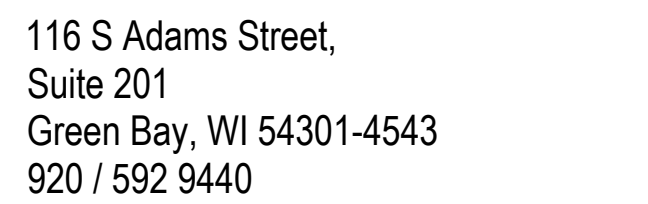


NOTE:
1. THE ENDS OF ALL CONCRETE WORK SHALL BE MARKED WITH A STAMP AS SHOWN, WITH THE CURRENT YEAR.
2. THE DATE OF CONSTRUCTION SHALL BE STAMPED ON ALL CONCRETE PAVEMENTS AND ALLEYS WITH 1-INCH NUMERALS AT THE ENDS OF EACH SECTION PAVED.

	TITLE: CONCRETE STAMP	
	DIVISION: 32	
	DRAWING NO: C-8	
	DATE: 12/2019 BY: KAD CHECKED: EPR	
ENGINEERING DIVISION 925 S. SIXTH ST DE PERE, WI 54115 OFFICE 920-339-4061 FAX 920-339-4071		

NOTICE:
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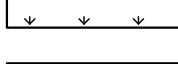
250 N. WISCONSIN STREET
DE PERE, WISCONSIN 54115

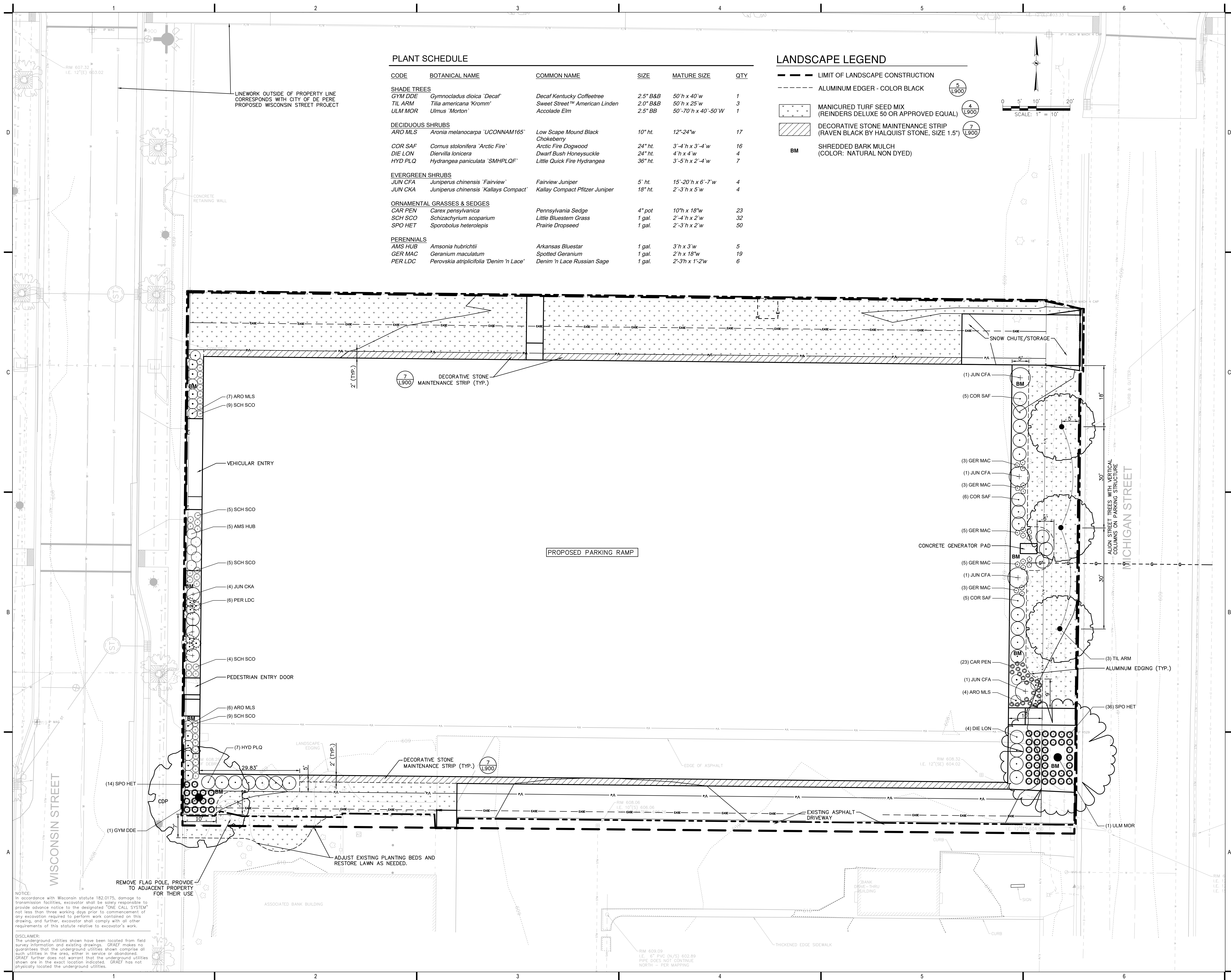
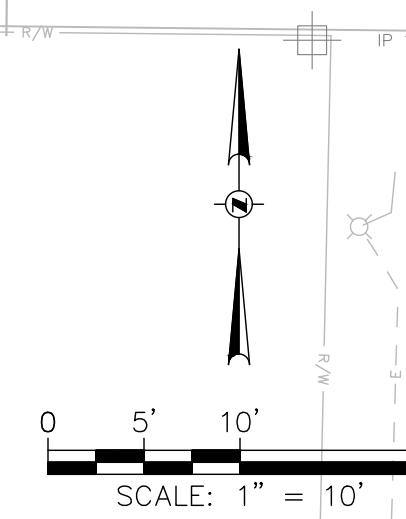
PROJECT INFORMATION:
PROJECT NUMBER: 2025-0025
DATE: 09/16/2025
DRAWN BY: CEP
CHECKED BY: MEG
APPROVED BY: MEG
SCALE: AS NOTED

SHEET NUMBER:

L-100

LANDSCAPE LEGEND

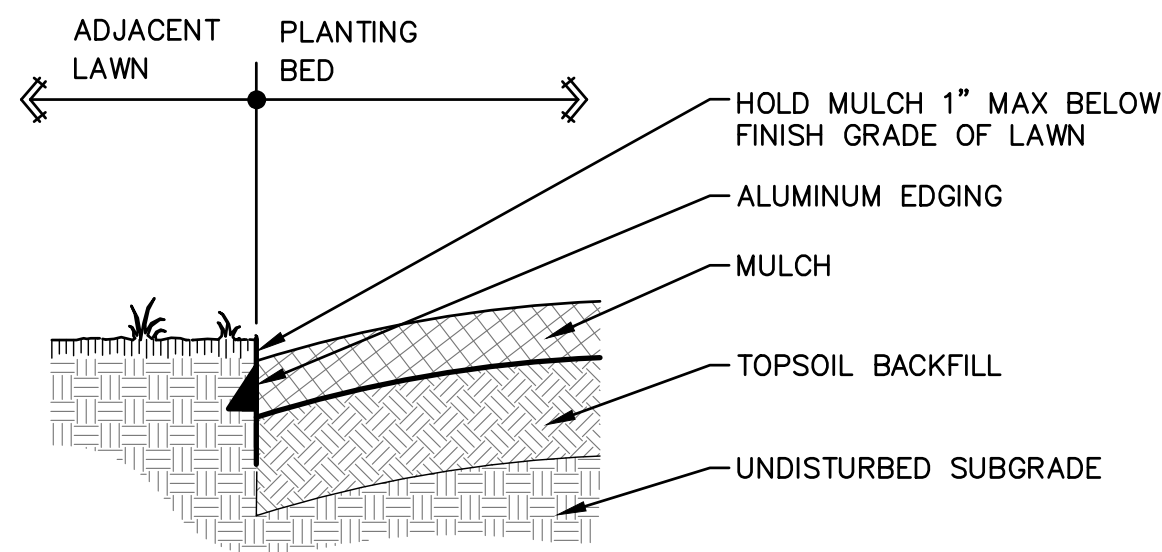
	LIMIT OF LANDSCAPE CONSTRUCTION	
	ALUMINUM EDGER - COLOR BLACK	
	MANICURED TURF SEED MIX (REINDERS DELUXE 50 OR APPROVED EQUAL)	
	DECORATIVE STONE MAINTENANCE STRIP (RAVEN BLACK BY HALQUIST STONE, SIZE 1.5")	
BM	SHREDDED BARK MULCH (COLOR: NATURAL NON DYED)	



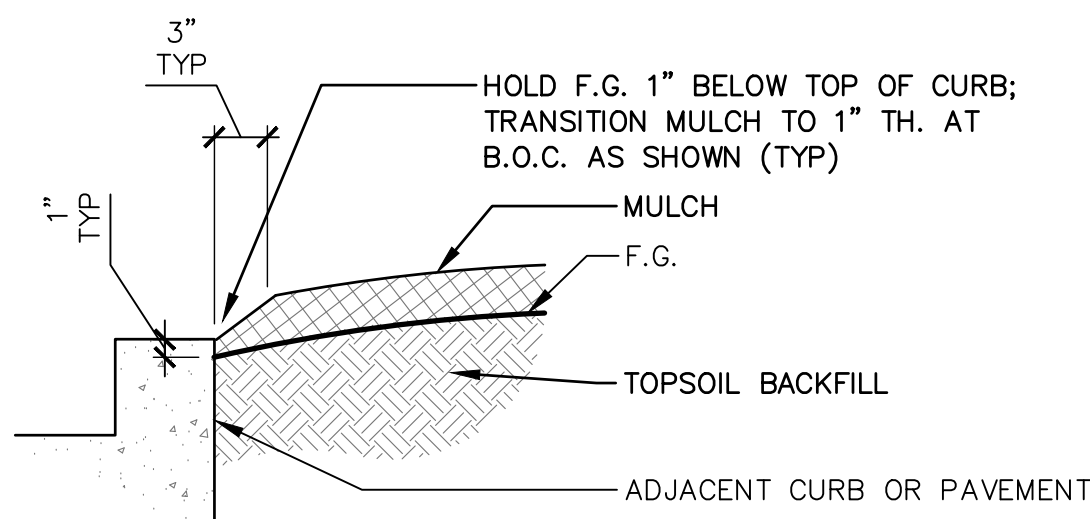
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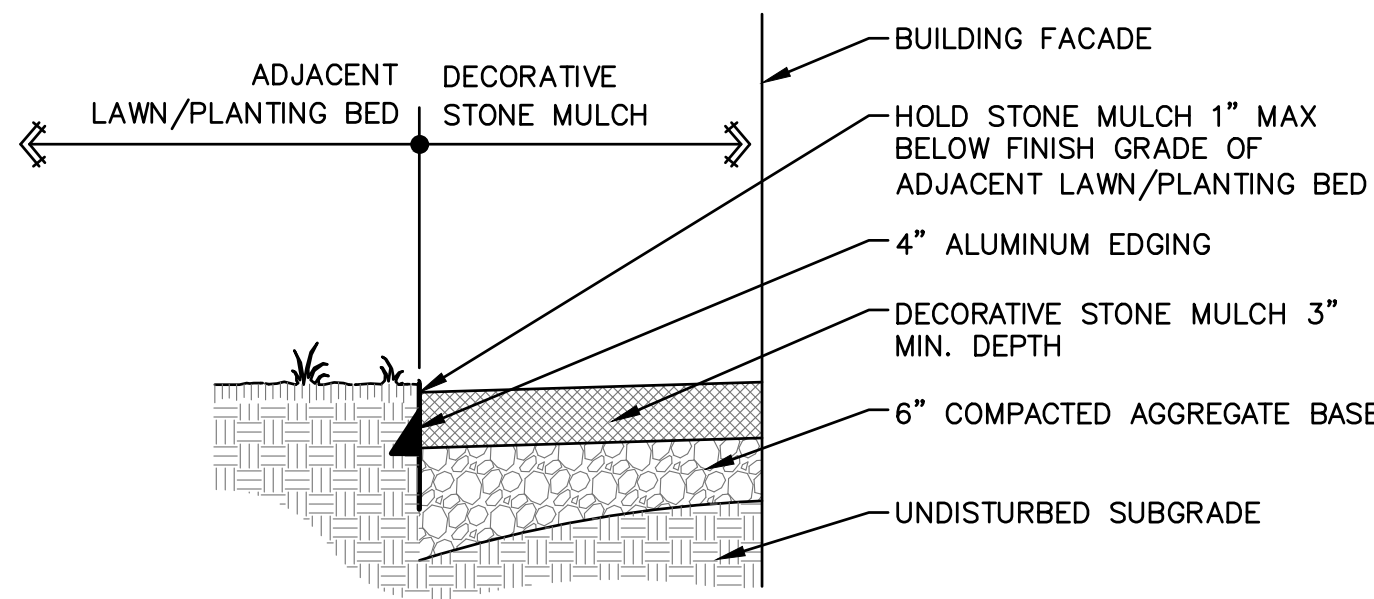
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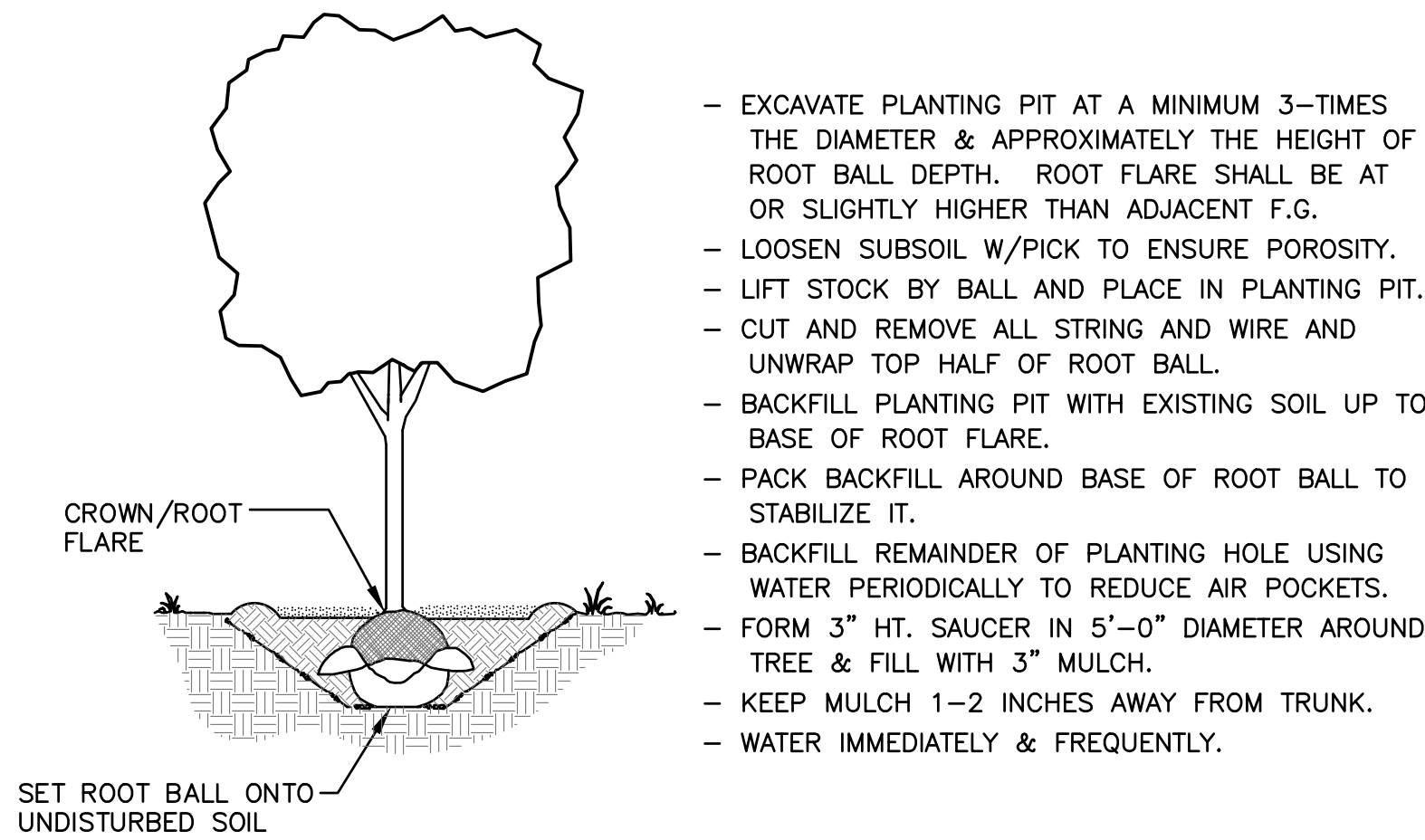
5 ALUMINUM PLANT BED EDGE



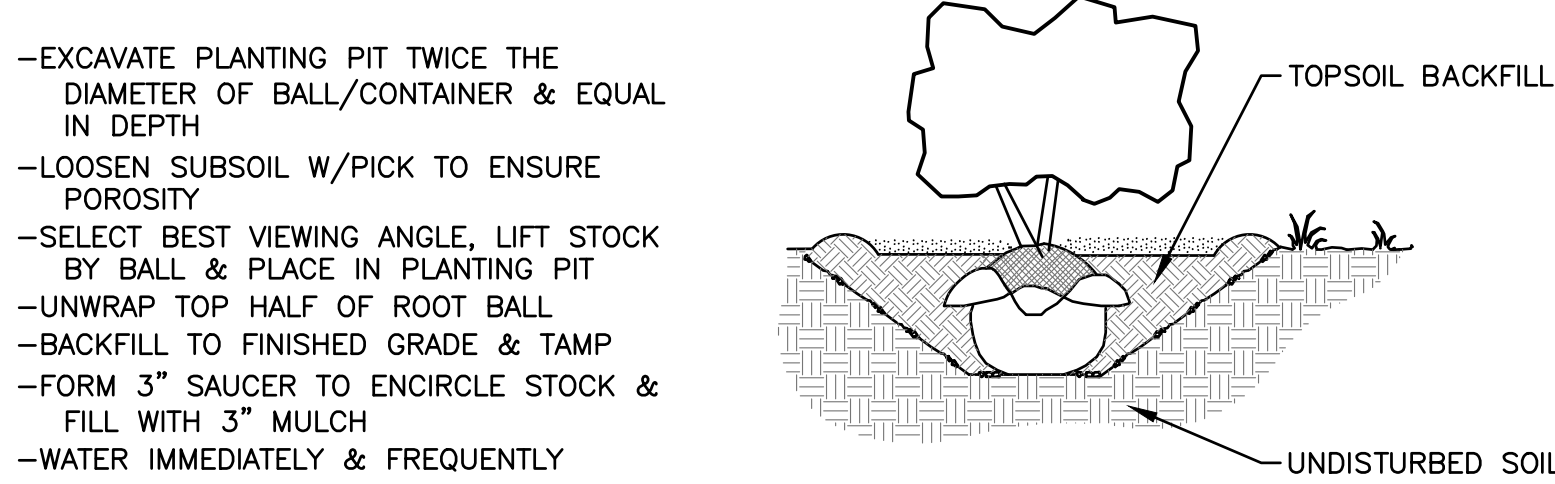
6 PLANT BED AT CURB OR PAVING



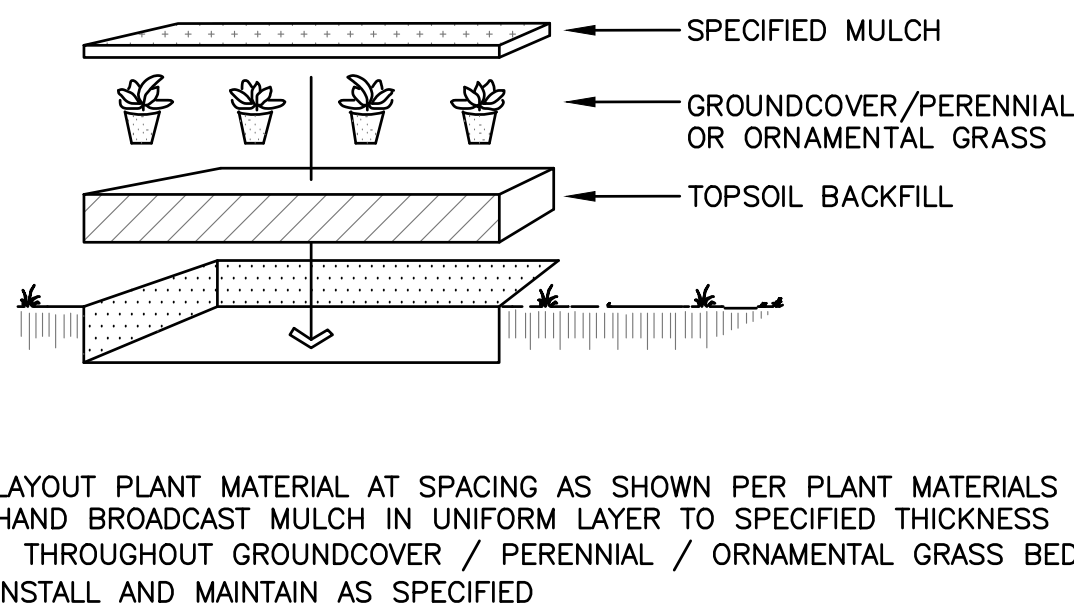
7 DECORATIVE STONE ALONG BUILDING



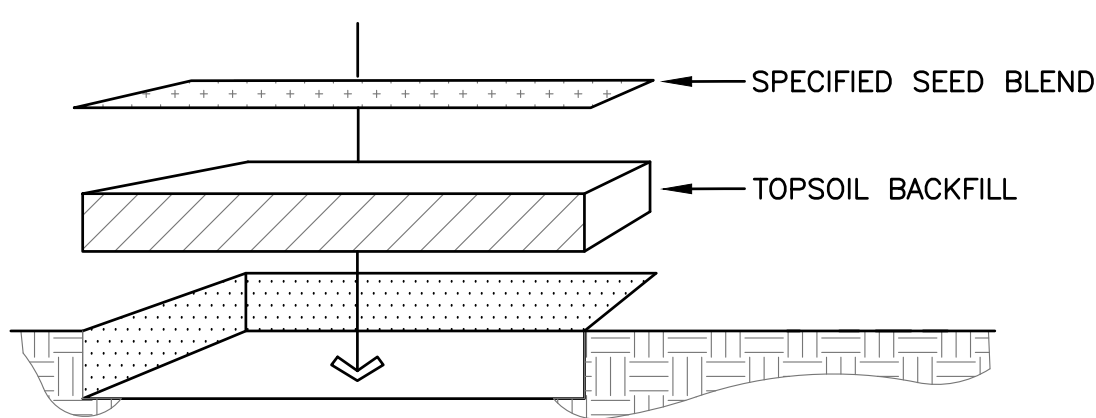
1 TREE PLANTING DETAIL



2 SHRUB PLANTING DETAIL - EVERGREEN OR DECIDUOUS



3 GROUND COVER / ORNAMENTAL GRASS / PERENNIAL PLANTING DETAIL



4 MANICURED TURF SEEDING

LANDSCAPING NOTES:

1. VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
2. INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO, THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE SUBMITTAL PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
3. SEE WRITTEN SPECIFICATIONS AND DETAILS FOR PLANTING METHODS, REQUIREMENTS, & EXECUTION, PLANT PROTECTION, PLANT STAKING METHODS, PLANT PIT DIMENSIONS, BACKFILL AND OTHER RELATED REQUIREMENTS.
4. PLANT PLACEMENT IS REQUIRED AS SHOWN ON THE LANDSCAPE PLAN AND PLANTING DETAILS.
5. PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR SYMBOLS, ABBREVIATIONS, BOTANICAL/Common NAMES, SIZES, ESTIMATED QUANTITIES (IF GIVEN) AND OTHER REMARKS.
6. MAINTAIN AND WARRANT PLANT MATERIALS AS DESCRIBED IN WRITTEN SPECIFICATIONS.
7. PLANT BEDS AND TREE PLANTING PITS ARE TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH.
8. SHREDDED HARDWOOD MULCH TO BE FREE OF WEEDS AND BE NATURAL IN COLOR.
9. SEE LANDSCAPE PLAN FOR DECORATIVE STONE MULCH TYPE AND SIZE.
10. REMOVE ALL COMPACTED AGGREGATE FROM PLANTING AREAS, INCLUDING MANICURED TURF AREAS, PRIOR TO INSTALLING TOPSOIL.
11. FORM 60-INCH, OR AS OTHERWISE INDICATED, WATERING BASIN AROUND TREES NOT INSTALLED IN PAVED AREAS.
12. MAINTAIN 60-INCH DIAMETER MINIMUM CLEAR SOIL AREA AROUND ALL TREES IN MANICURED TURF AREAS. MULCH TREE RINGS WITH SPECIFIED DEPTH OF HARDWOOD BARK MULCH. SEE PLANTING DETAILS.
13. FINE GRADE, RAKE, AND ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND THROUGHOUT SITE WITHIN THE LIMITS OF CONSTRUCTION, WITH ACCURATELY SET FLOW LINES. LOW SPOTS OR PONDING OF SURFACE WATER WILL NOT BE ACCEPTED IN THE FINAL WORK. ROCKS OR DEBRIS WILL NOT BE ACCEPTED. FINAL GRADE TOLERANCES ARE +/-0.1 FOOT MAXIMUM.
14. WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES ARE FOR INFORMATION ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO CONDUCT QUANTITY TAKE-OFFS FOR PLANT MATERIALS AND SIZES SHOWN ON PLANS. PLANT SYMBOLS INDICATED ON THE PLAN TAKE PRECEDENCE IN CASE OF DISCREPANCIES BETWEEN CALLOUTS AND THE PLANT LIST.
15. COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB AND RELATED STRUCTURES WITH OTHER TRADES.
16. RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
17. TAKE NECESSARY SCHEDULING AND OTHER PRECAUTIONS TO AVOID WINTER, CLIMATIC, OR OTHER DAMAGE TO PLANTS.
18. PLANTING BEDS ARE TO BE SEPARATED FROM ADJACENT TURF AREAS WITH EDGING. INSTALL AT LOCATIONS INDICATED ON DRAWINGS AND PER LANDSCAPE DETAILS.
19. PLANT SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS THE LANDSCAPE CONTRACTOR CAN DEMONSTRATE THE PLANTS ARE NOT AVAILABLE FROM NURSERY SOURCES LOCATED WITHIN 100 MILES FROM THE PROJECT SITE. ANY PROPOSED PLANT SUBSTITUTION WILL REQUIRE PRIOR REVIEW AND WRITTEN ACCEPTANCE BY THE LANDSCAPE ARCHITECT.
20. CONTRACTOR SHALL DETERMINE THE NEED FOR TREE STAKING. IF DETERMINED NECESSARY, PROVIDE TREE STAKES AND GUYS WITH FLEXIBLE TREE TIE WEBBING STRAPS.



116 S Adams Street,
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CITY OF DE PERE
335 S. BROADWAY
DE PERE, WISCONSIN 54115

PROJECT TITLE:
DE PERE PARKING FACILITY

250 N. WISCONSIN STREET
DE PERE, WISCONSIN 54115

ISSUE:
NO. DATE REVISIONS BY
1 09/16/2025 ISSUE FOR BID

PROJECT INFORMATION:
PROJECT NUMBER: 2025-0025
DATE: 09/16/2025
DRAWN BY: CEP
CHECKED BY: MEG
APPROVED BY: MEG
SCALE: AS NOTED

SHEET TITLE:
LANDSCAPE NOTES AND DETAILS

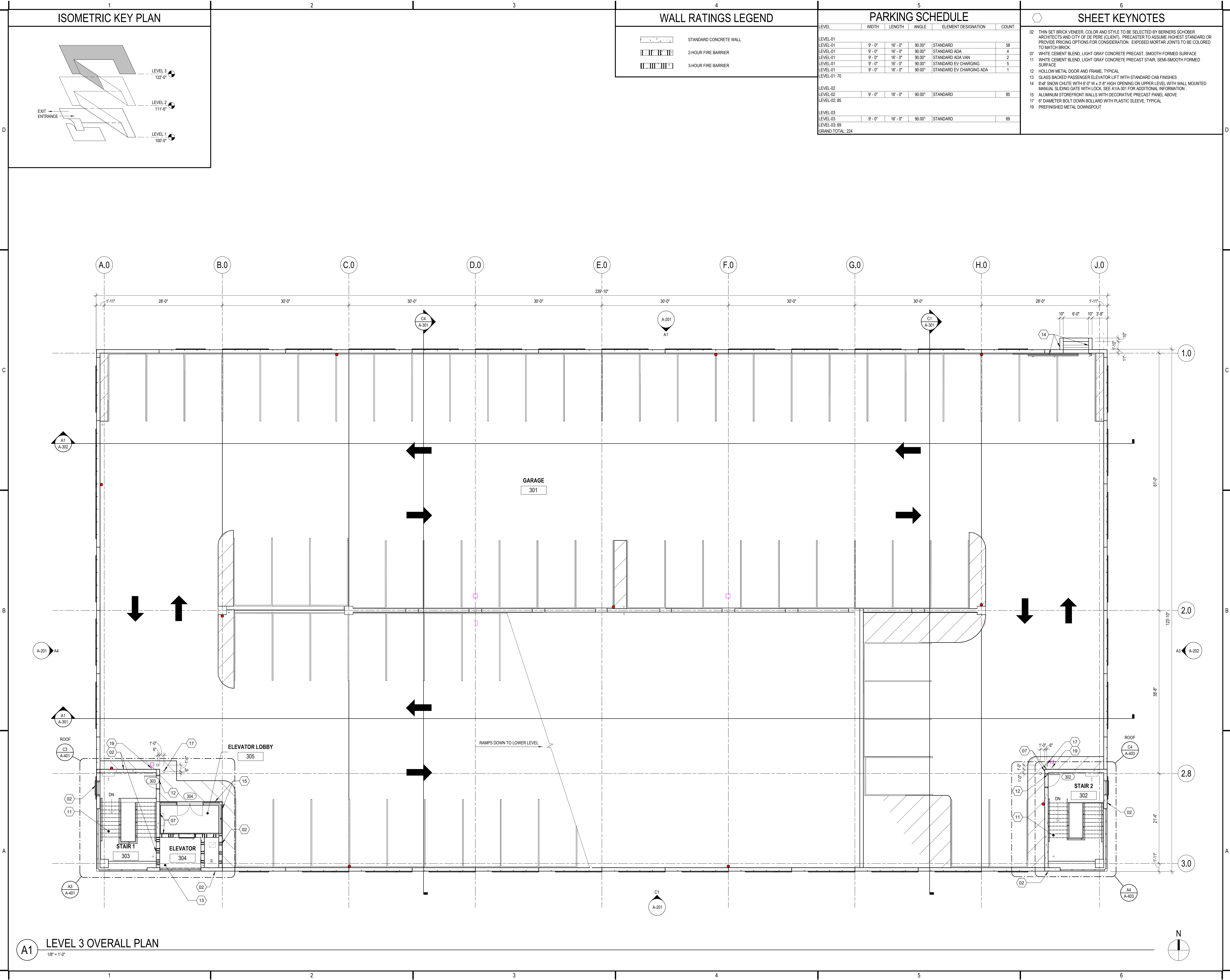
SHEET NUMBER:

L-900

1001

PARTITION #	DESCRIPTION	WIDTH	REF TEST OR PRESCRIPTIVE #	STC
P8C	8" PRECAST CONCRETE PANEL	8"		
P10C	10" PRECAST CONCRETE PANEL	10"		
P12C	12" PRECAST CONCRETE PANEL	12"		

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CLIENT:

CITY OF DE PERE
335 S. BROADWAY
DE PERE, WI 54115

PROJECT TITLE:

DE PERE PARKING FACILITY

DESIGN ARCHITECT:

310 PINE ST.
GREEN BAY, WI 54301

ISSUE:

1 09/16/2025 ISSUED FOR BID

PROJECT INFORMATION:

PROJECT NUMBER: 2025-0025.00
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APPROVED BY: CWH
SCALE: AS NOTED

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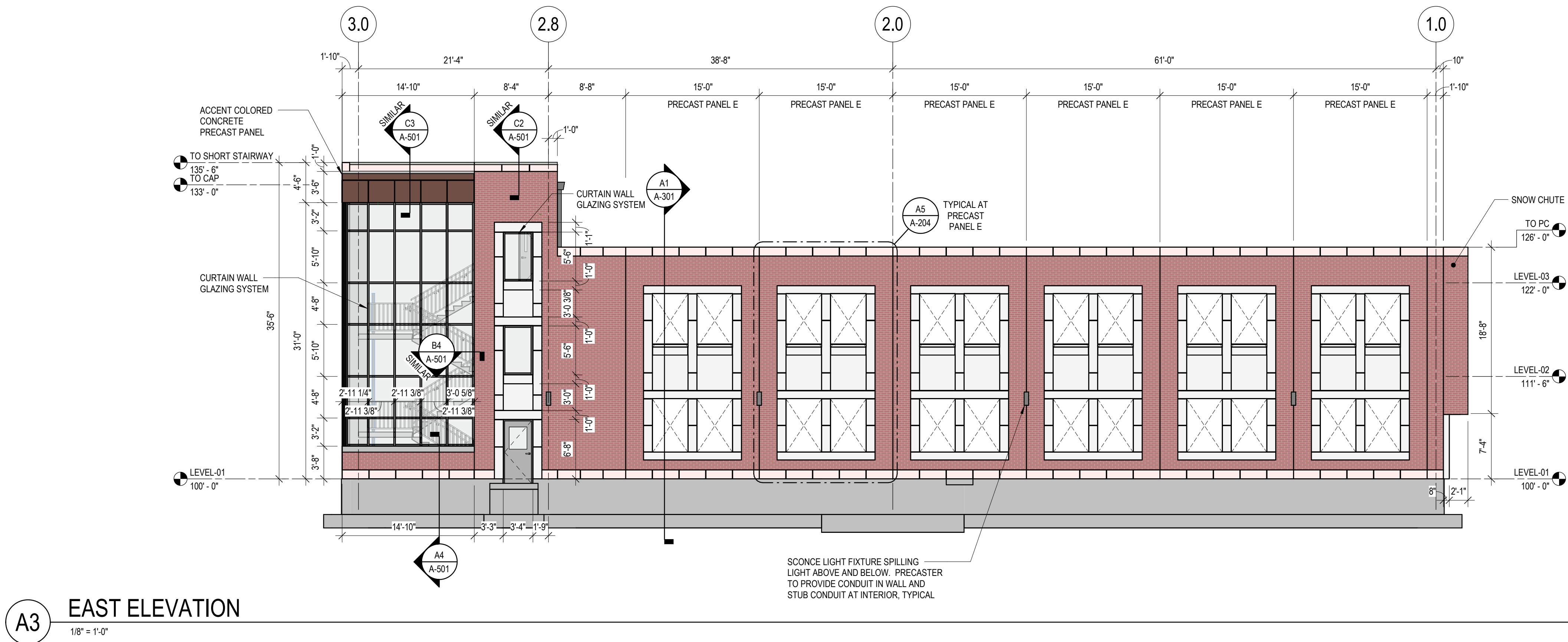
LEVEL 3 OVERALL PLAN

SHEET NUMBER:

A-103

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DE PERE, WI 54115

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250 N. WISCONSIN STREET,
DE PERE, WISCONSIN 54115

DESIGN ARCHITECT:

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310 PINE ST.
GREEN BAY, WI 54301

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DATE: 09/16/2025

DRAWN BY: RMG

CHECKED BY: CWH

APPROVED BY: CWH

SCALE: AS NOTED

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A-202

ISOMETRIC KEY PLAN

1

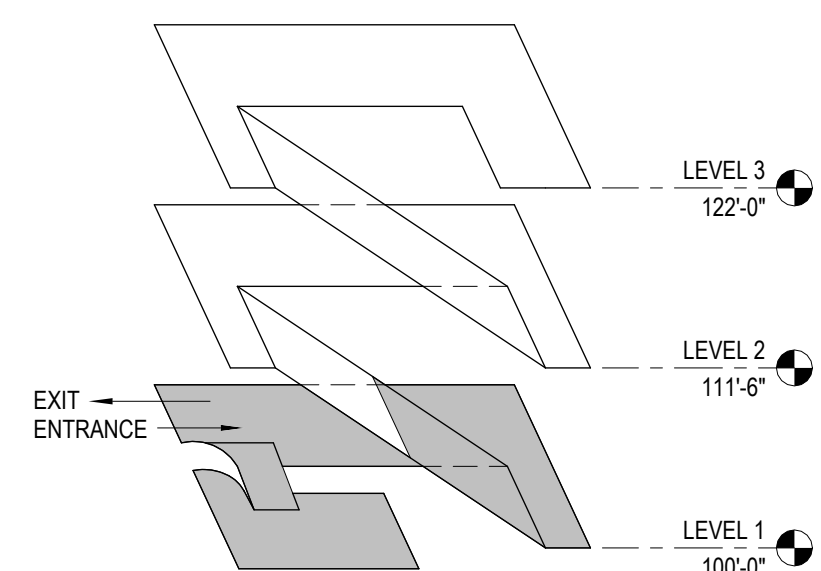
ISOMETRIC KEY PLAN

EXIT → ENTRANCE

LEVEL 3
122'-0"

LEVEL 2
111'-6"

LEVEL 1
100'-0"



- 24 HOUR ON. DIM TO 50% WITH OCCUPANCY SENSOR.
- DIM TO 50% WITH OCCUPANCY SENSOR. OFF WITH PHOTOCCELL.
- DIM TO 50% WITH OCCUPANCY SENSOR. OFF WITH PHOTOCCELL. 100% IF NORMAL POWER IS LOST.
- 24 HOUR ON. DIM TO 50% WITH OCCUPANCY SENSOR. 100% IF NORMAL POWER IS LOST.

- A. ALL CIRCUITS ON LIGHTING FIXTURES ARE FED FROM PANEL 1/GA, UNLESS NOTED OTHERWISE.
- B. EXIT LIGHTS ARE TO BE ON AN UN-SWITCHED LEG OF THE LIGHTING CIRCUIT.
- C. EXTEND AN UN-SWITCHED LEG OF THE NORMAL LIGHTING CIRCUIT TO SHADED EMERGENCY LIGHTS FOR NORMAL POWER MONITORING.

06 FURNISH AND INSTALL WIRELESS LIGHTING CONTROLLERS PER MANUFACTURER REQUIREMENTS, FOR A FULLY OPERATIONAL LIGHTING SYSTEM.

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Milwaukee, WI 53203
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CLIENT:



CITY OF DE PERE

PROJECT TITLE:

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ISSUE:

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DATE: 09/16/2025

DRAWN BY: KBA

CHECKED BY: KEZ

APPROVED BY: DJK

SHEET TITLE:

LEVEL 1 PLAN - LIGHTING

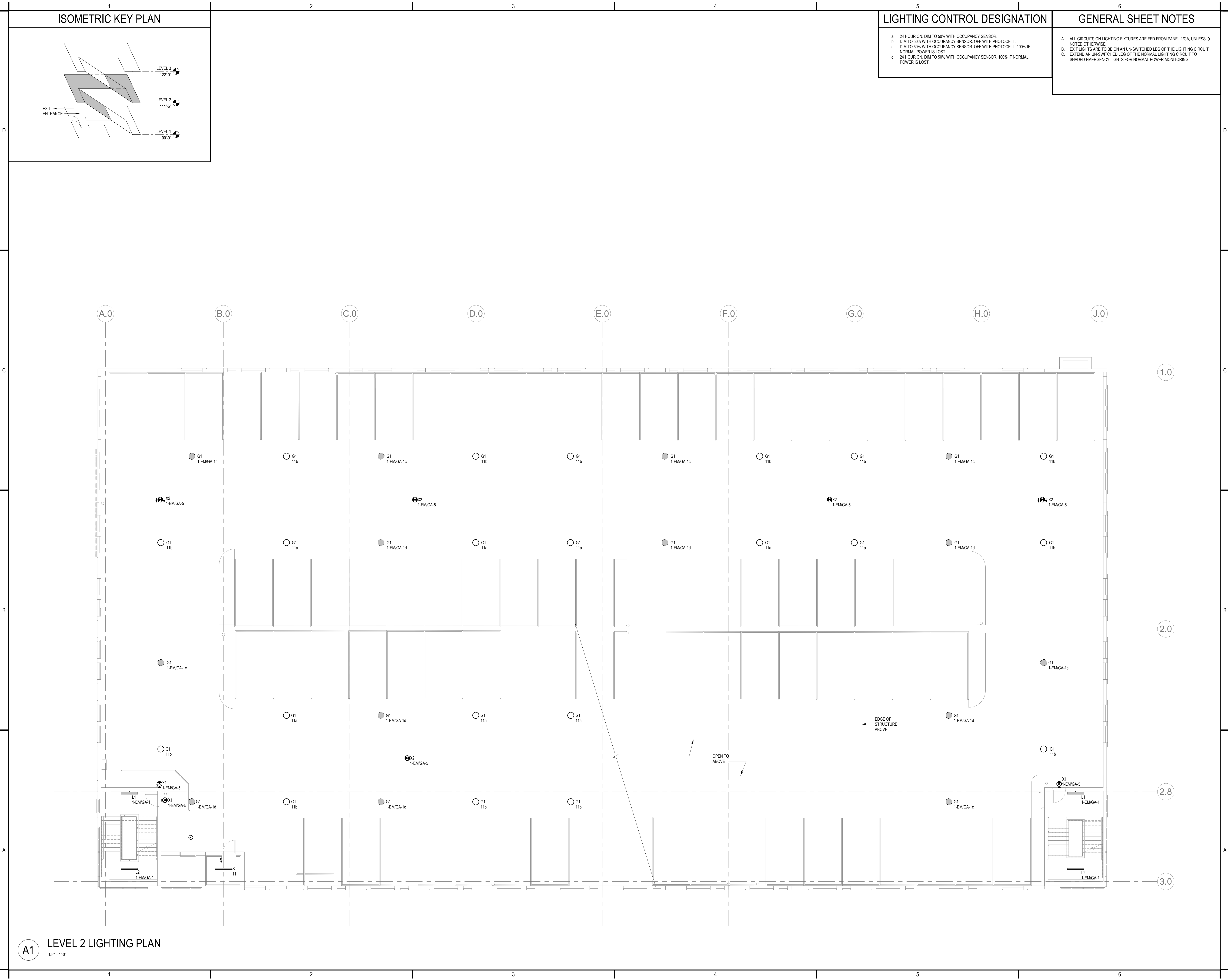
SHEET NUMBER:

E-111

A1

$$1/8^{\circ} = 1^{\circ} - 0^{\circ}$$

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LIGHTING CONTROL DESIGNATION

- a. 24 HOUR ON, DIM TO 50% WITH OCCUPANCY SENSOR.
- b. DIM TO 50% WITH OCCUPANCY SENSOR OFF WITH PHOTOCELL.
- c. DIM TO 50% WITH OCCUPANCY SENSOR OFF WITH PHOTOCELL, 100% IF NORMAL POWER IS LOST.
- d. 24 HOUR ON, DIM TO 50% WITH OCCUPANCY SENSOR, 100% IF NORMAL POWER IS LOST.

GENERAL SHEET NOTES

- A. ALL CIRCUITS ON LIGHTING FIXTURES ARE FED FROM PANEL 1GA, UNLESS NOTED OTHERWISE.
- B. EXIT LIGHTS ARE TO BE ON AN UN-SWITCHED LEG OF THE LIGHTING CIRCUIT.
- C. EXTEND AN UN-SWITCHED LEG OF THE NORMAL LIGHTING CIRCUIT TO SHADED EMERGENCY LIGHTS FOR NORMAL POWER MONITORING.

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Milwaukee, WI 53203
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PROJECT TITLE:
DE PERE PARKING FACILITY

250 N. WISCONSIN STREET, DE PERE, WISCONSIN 54115

ISSUE:

1 09/16/2025 ISSUE FOR BID

PROJECT INFORMATION:

PROJECT NUMBER: 2025-0025.00

DATE: 09/16/2025

DRAWN BY: KBA

CHECKED BY: KEZ

APPROVED BY: DJK

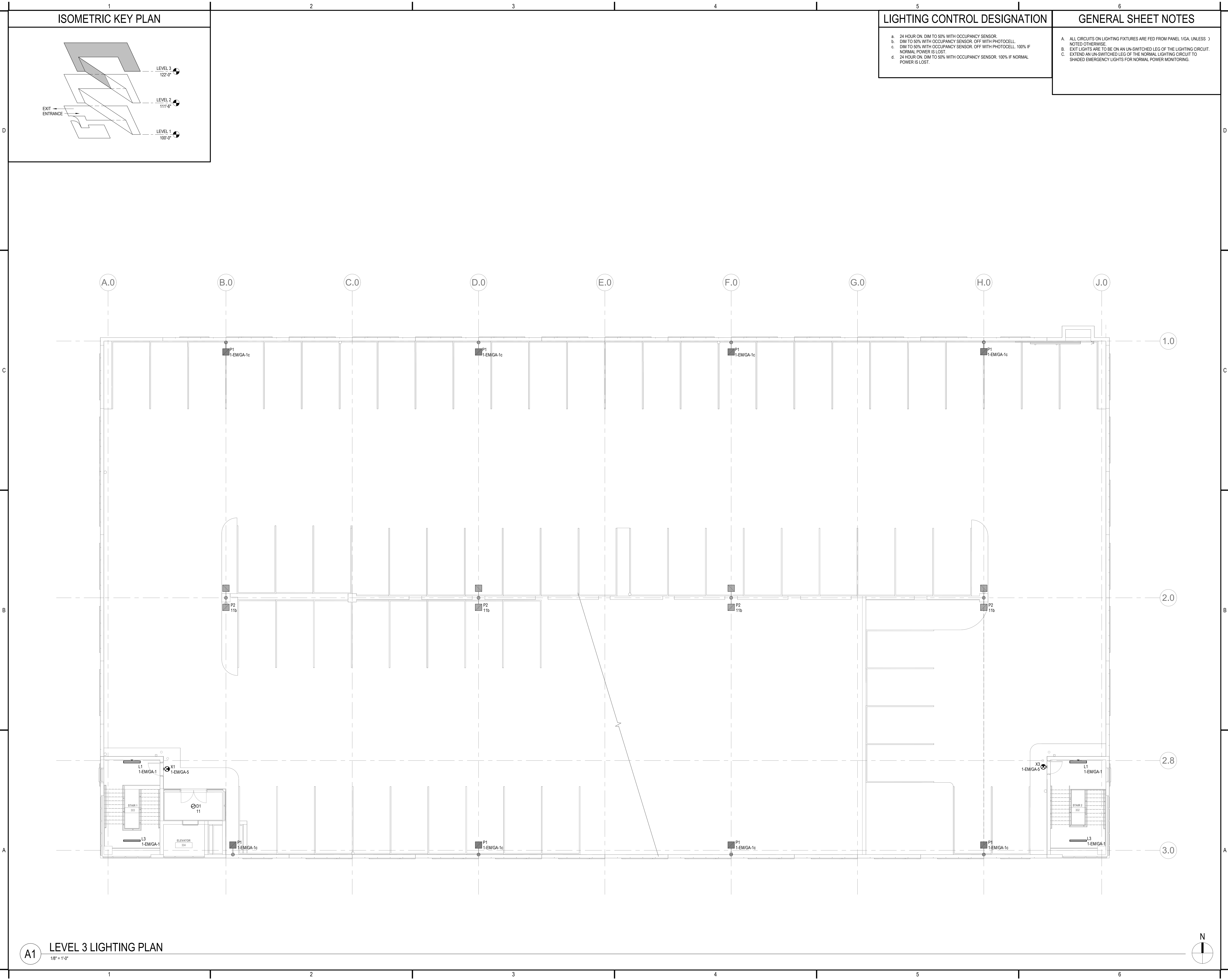
SCALE: AS NOTED

SHEET TITLE:
LEVEL 2 PLAN - LIGHTING

SHEET NUMBER:

E-112

Autodesk Docs://De Pere Parking Facility Design /2025-0025.00_E25.rvt
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LIGHTING CONTROL DESIGNATION

- a. 24 HOUR ON, DIM TO 50% WITH OCCUPANCY SENSOR.
- b. DIM TO 50% WITH OCCUPANCY SENSOR OFF WITH PHOTOCELL.
- c. DIM TO 50% WITH OCCUPANCY SENSOR OFF WITH PHOTOCELL, 100% IF NORMAL POWER IS LOST.
- d. 24 HOUR ON, DIM TO 50% WITH OCCUPANCY SENSOR, 100% IF NORMAL POWER IS LOST.

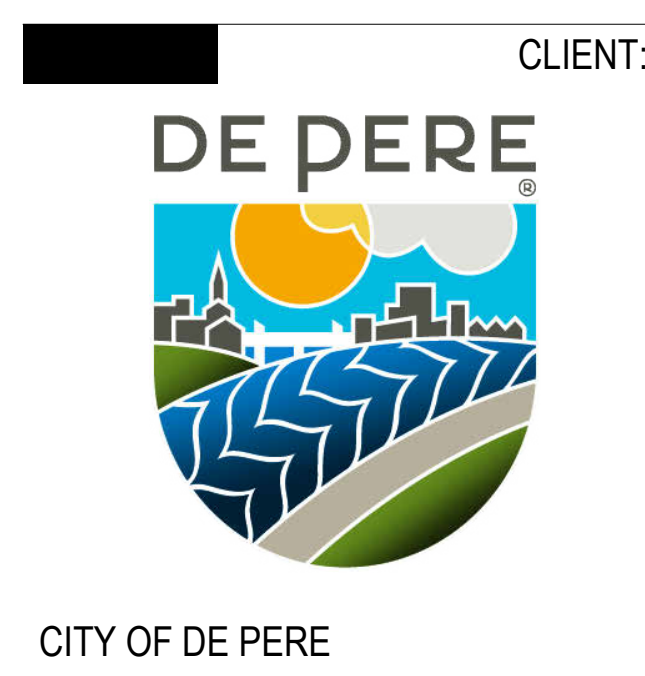
GENERAL SHEET NOTES

- A. ALL CIRCUITS ON LIGHTING FIXTURES ARE FED FROM PANEL 1GA, UNLESS NOTED OTHERWISE.
- B. EXIT LIGHTS ARE TO BE ON AN UN-SWITCHED LEG OF THE LIGHTING CIRCUIT.
- C. EXTEND AN UN-SWITCHED LEG OF THE NORMAL LIGHTING CIRCUIT TO SHADED EMERGENCY LIGHTS FOR NORMAL POWER MONITORING.

GRāEF

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SHEET TITLE:
LEVEL 3 PLAN - LIGHTING

SHEET NUMBER:

E-113