



Planning/Zoning Application

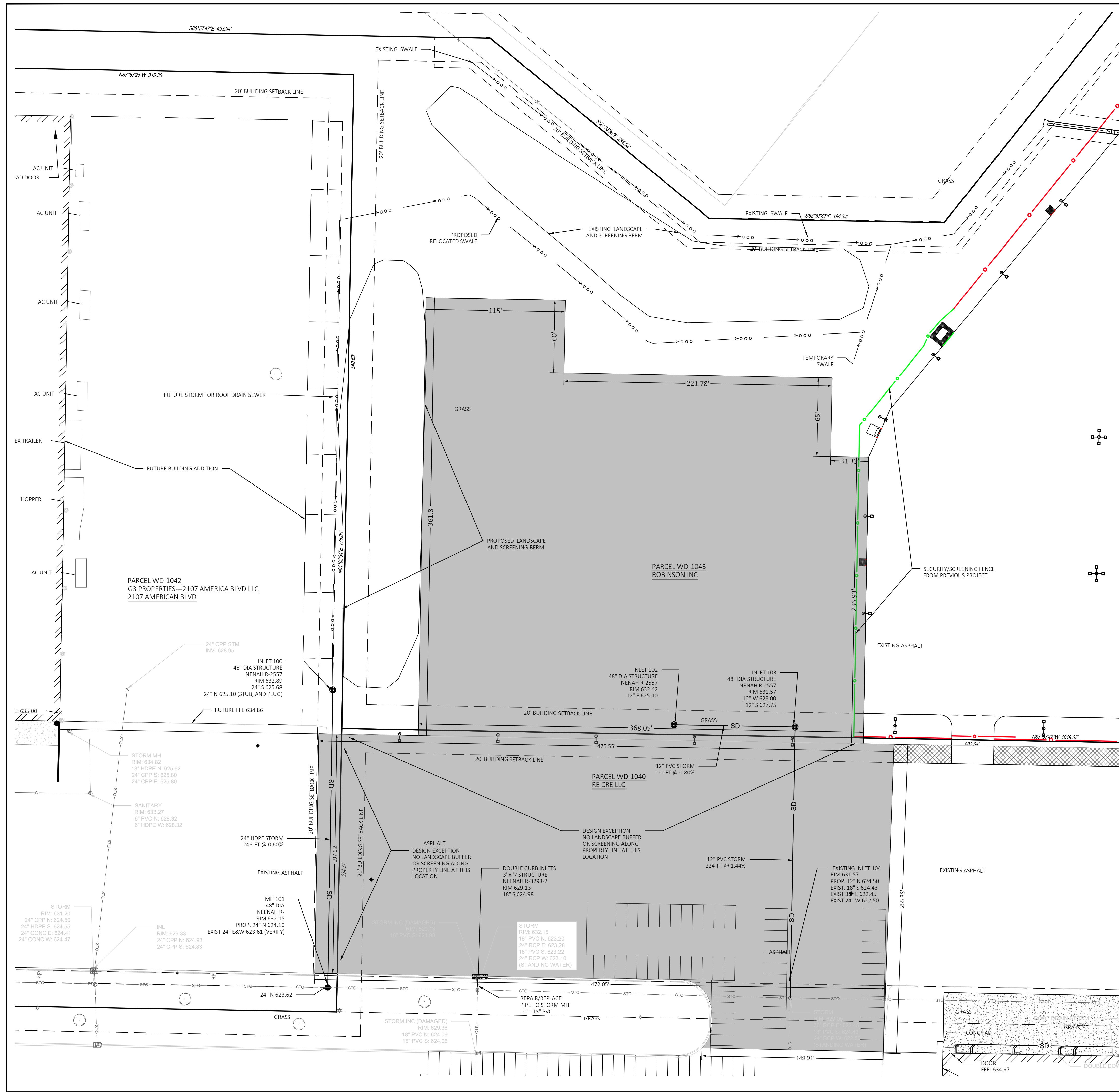
Planning & Zoning Department

Submitted On:

Jul 23, 2025, 04:19PM EDT

Parcel Number: (Include ALL parcels)	WD-1042, WD-1043, WD,1040
Nearest property address to the project site:	Street Address: 2121 American Blvd City: De Pere State: W Zip: 54115
Check each project type that is being applied for:	Site Plan
Current De Pere Zoning Districts:	BP-2
Existing Site Land Uses:	Business Park/Industrial
Proposed Site Land Uses:	Business Park/Industrial
Does the project comply with the Comprehensive Plan?	Yes
Has City Staff been contacted for a preapplication meeting?	Yes
Property Owner:	First Name: Ben Last Name: Bukowiec
Is the property owner's address the same as the nearest property address?	No
Property Owner's Address:	Street Address: 1740 Eisenhower Drive City: De Pere State: W Zip: 54115
Property Owner's Phone Number:	920-615-3408
Property Owner's Email Address:	ben.bukowiec@robinsoninc.com
Is someone processing the project for the property owner as their authorized representative?	Yes
Authorized Representative's Name:	First Name: Steven Last Name: Kolar
Authorized Representative's Business Name:	Payne & Dolan, Inc

Authorized Representative's Phone Number:	9207169523
Authorized Representative's Email Address:	skolar@walbecgroup.com
Please attach a PDF copy of the site plan.	25 07 23 West Laydown Yard.pdf
Would you like a basic checklist of information to include in the site plan?	No
How do you plan on paying for your application?	Online with a credit card
Total Due:	\$350.00
Signature Data	First Name: Steve Last Name: Kolar Email Address: skolar@walbecgroup.com  Signed at: July 23, 2025 4:17pm America/New_York
User's Session Information	IP Address: 12.148.220.197 Referrer URL:



THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTORS SHALL MAKE THEIR OWN DETERMINATION AND VERIFY THE LOCATION OF UNDERGROUND UTILITIES.

THE CLIENT AND/OR OTHER RECIPIENTS AGREE TO THE FULLEST EXTENT PERMITTED BY LAW TO INDEMNIFY AND HOLD PAYNE AND DOLAN HARMLESS FOR ANY REUSE OF OR FROM CHANGES MADE TO THE ORIGINAL DRAWING OR DATA WITHOUT PRIOR WRITTEN CONSENT BY PAYNE AND DOLAN.

PARCEL INFO:
PARCEL WD-1040
RE CRE LLC, ETAL
111 S ELGIN AVE
TULSA, OK 74120

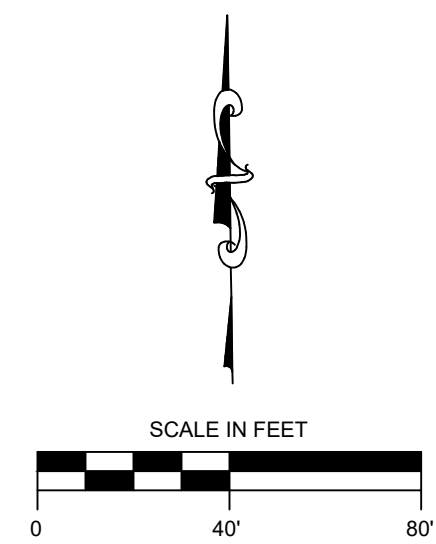
PARCEL WD-1043
ROBINSON INC
1740 EISENHOWER RD
DE PERE, WI 54115

PARCEL WD-1042
G3 PROPERTIES ---2017 AMERICA BLVD LLC
ATTN NYLA GROUP LLC
G3 PROPERTIES ---2017 AMERICA BLVD LLC
500 N 1ST STREET STE 2600
WAUSAU, WI 54403

ZONING: BP-2 (BUSINESS PARK 2)

PROJECT AREA = 6.23 AC (271,268 SF)
EXISTING IMPERVIOUS AREA = 2.34 AC (101,990 SF)
PROPOSED IMPERVIOUS AREA = 5.00 AC (218,044 SF)
EXISTING LANDSCAPE AREA = 3.89 AC (167,448 SF)
PROPOSED LANDSCAPE AREA = 1.23 AC (53,579 SF) 19.7%
INCREASED IMPERVIOUS AREA = 2.66 AC (116,054 SF)

NOTES:
DIMENSIONS ARE TO THE EDGE OF PAVEMENT OR FLANGE UNLESS OTHERWISE NOTED



- | PROPOSED LEGEND | |
|-----------------|--------------------------------|
| | STORM INLET |
| | STORM MANHOLE |
| | STORM SEWER |
| | CONCRETE PAVEMENT |
| | STANDARD ASPHALT PAVEMENT |
| | PROJECT LIMIT |
| | DRAINAGE SWALE |
| EXISTING LEGEND | |
| | DOWN SPOUT |
| | FOUND, IRON PIPE |
| | LIGHT POLE |
| | FIRE HYDRANT |
| | INLET |
| | MANHOLE |
| | GAS VALVE |
| | WATER VALVE |
| | UTILITY METER |
| | ELECTRIC PEDESTAL |
| | TREE |
| | POWER POLE |
| | GUY WIRE ANCHOR |
| | CURB INLET |
| | SANITARY SEWER |
| | TELEPHONE PEDESTAL |
| | TRANSFORMER |
| | EXISTING UNDERGROUND ELECTRIC |
| | EXISTING STORM SEWER |
| | EXISTING SANITARY SEWER |
| | EXISTING WATER LINE |
| | EXISTING UNDERGROUND TELEPHONE |
| | EXISTING FIBER OPTIC |
| | EXISTING TREE LINE |
| | RIGHT OF WAY LINE |



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[illegible]

EROSION CONTROL

THE FOLLOWING EROSION AND POLLUTANT CONTROL MEASURES ARE TO BE IMPLEMENTED ON THIS SITE AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME THAT THE SITE IS STABILIZED.

- SUBSOILS ARE CLASSIFIED AS, OSHKOSH SILT LOAM AND KEWAUNEE SILT LOAM, PER THE USDA-NRCS SOIL SURVEY.
- THE PROJECT WILL BE CONSTRUCTED IN ONE PHASE.
- IMMEDIATE RECEIVING WATERS, STORMWATER POND AND UN-NAMED CHANNEL TO THE FOX RIVER.

EROSION CONTROL MEASURES:

1. VEHICLE TRACKING MATS SHALL BE INSTALLED AT ALL CONSTRUCTION ENTRANCES PER WDNR TECHNICAL STANDARD 1057 REQUIREMENT.
2. STORM DRAIN INLET PROTECTION SHALL BE INSTALLED AND MAINTAINED PER WDNR TECHNICAL STANDARD 1060.
3. SILT FENCE PERIMETER CONTROL, IF USED WILL BE INSTALLED PER WDNR TECHNICAL STANDARD 1056.
4. EROSION MATTING WILL BE INSTALLED PER WDNR TECHNICAL STANDARDS 1052 FOR NON-CHANNEL MATTING AND 1053 FOR CHANNEL MATTING.
5. CONTRACTOR SHALL BE RESPONSIBLE TO PROMPTLY CLEAN UP ALL SEDIMENT DEPOSITS THAT OCCUR OFF SITE BY THE END OF EACH WORKDAY.
6. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURES UNTIL THE SITE HAS BEEN STABILIZED. CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE PER WEEK AND AFTER EACH RAINFALL EVENT OF 1/8 INCH OR MORE. CONTRACTOR SHALL KEEP A LOGBOOK OF ALL INSPECTION REPORTS ONSITE ALONG WITH ALL PERMITS THAT ARE REQUIRED FOR THE PROJECT. THE EROSION CONTROL PLAN SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
7. DRAINAGE WAYS ARE TO BE SEEDED AND MULCHED OR SODDED OR CHANNEL EROSION MATTING INSTALLED AS SOON AS POSSIBLE. SIDE SLOPES OF DRAINAGE WAYS THAT ARE SLOPED 4:1 OR GREATER AND FLOW LINES OF THE DRAINAGE WAYS SHALL HAVE EROSION FABRIC OR MATTING INSTALLED TO PROTECT FROM EROSION. LIGHT DUTY WISDOT CLASS I URBAN TYPE A MAT IS RECOMMENDED FOR THE SLOPED AREAS AND TYPE B CLASS II FOR THE FLOW LINE OF THE SWALES. DITCH CHECKS SHALL BE INSTALLED AS INDICATED ON THE GRADING AND EROSION CONTROL PLAN.
8. ALL AREAS OF BARE SOIL LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE SEEDED WITH A FAST GROWING ANNUAL GRASS (TEMPORARY) SUCH AS OATS AND RYE AND MULCHED.
9. DEWATERING IS NOT ANTICIPATED. IF DEWATERING IS NECESSARY IT SHALL FOLLOW THE REQUIREMENTS OF WDNR TECHNICAL STANDARD 1061.
10. DUST CONTROL MEASURES FOR CONSTRUCTION ACTIVITIES SHALL INCLUDE MINIMIZATION OF SOIL DISTURBANCE, APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES AND BARRIERS. THESE MEASURES SHALL BE APPLIED AS APPLICABLE TO THE SITE CONDITIONS AND SHALL FOLLOW THE REQUIREMENTS OF WDNR TECHNICAL STANDARD 1068.
11. CONTRACTOR SHALL HAVE A DESIGNATED AREA FOR TRASH AND PROMPTLY DISPOSE OF ALL WASTE MATERIAL.
12. ANY SPILL THAT MAY OCCUR SHALL BE PROMPTLY CLEANED UP PER LOCAL AND STATE REQUIREMENTS.

PROPOSED LEGEND

- FLOW DIRECTION
- SF PERIMETER EROSION CONTROL - SILT FENCE
- DISTURBED AREA/PROJECT LIMITS
- TRACKING PAD
- DITCH CHECK
- SINGLE NETTED LIGHT DUTY (WISDOT CLASS I TYPE A) WISDOT SEED MIXTURE NO. 20
- DOUBLE NETTED LIGHT DUTY (WISDOT CLASS I TYPE B) WISDOT SEED MIXTURE NO. 20 (BOTTOM OF DITCHES)
- RIPRAP

NARRATIVE AND CONSTRUCTION SEQUENCE PHASE 2B

ROBINSON INC. IS CONSTRUCTING A NEW TRANSPORTATION LOT/OUTDOOR STORAGE AREA. DRAINAGE SWALE AND NEW STORM SEWER IS BEING CONSTRUCTED TO CONVEY STORMWATER RUNOFF TO AN EXISTING REGIONAL STORMWATER POND ADJACENT TO THE PROPERTY TO THE EAST. STORMWATER IS BEING COLLECTED IN DITCHES AND EXISTING STORM SEWER. LANDSCAPE SCREENING BERMS ARE ALSO BEING CONSTRUCTED TO MEET SCREENING REQUIREMENT.

ESTIMATED CONSTRUCTION TIMEFRAMES*:

INSTALL EROSION CONTROL MEASURES = AUGUST, 2025

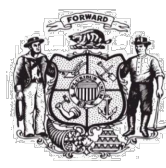
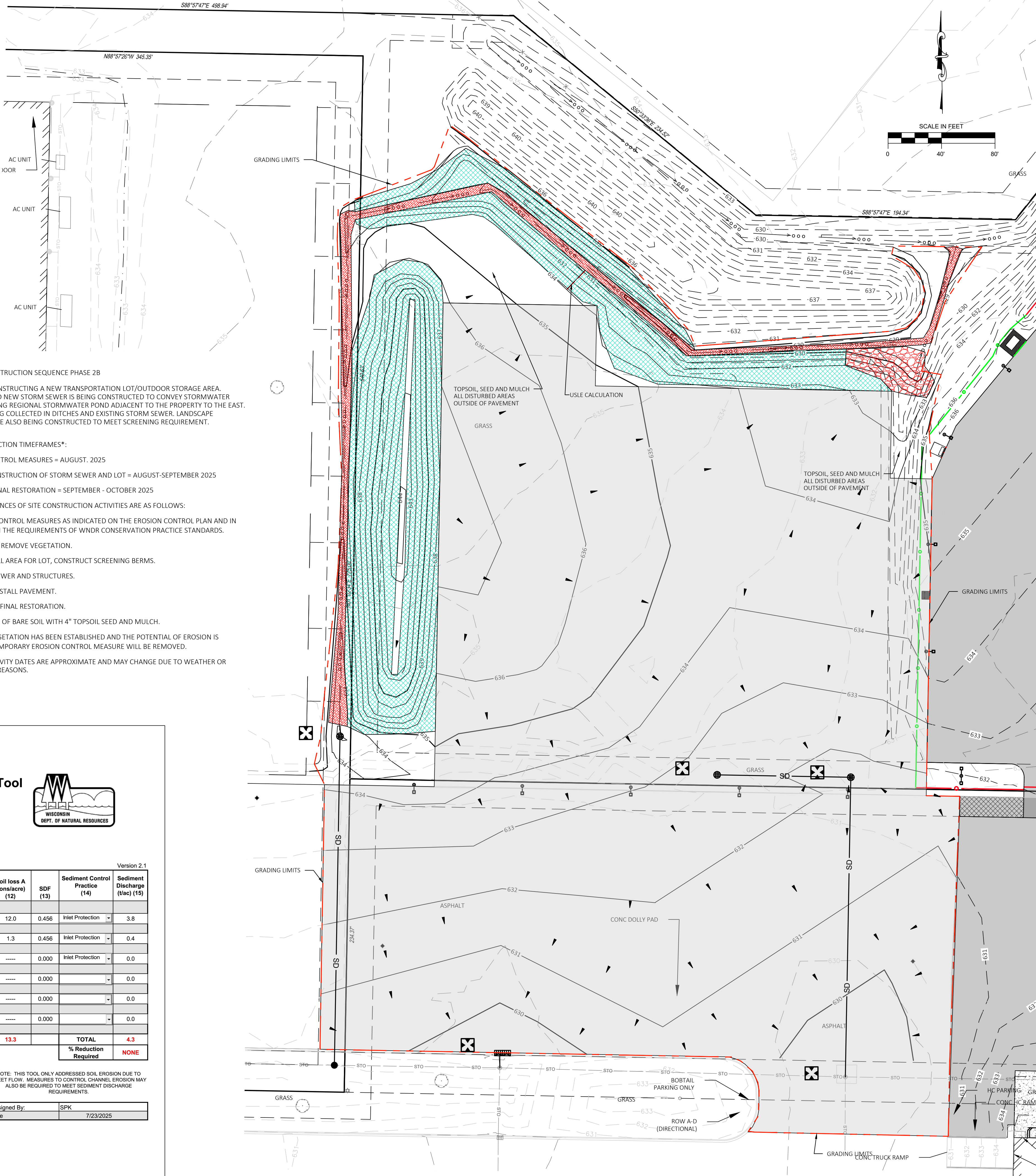
EXCAVATION AND CONSTRUCTION OF STORM SEWER AND LOT = AUGUST-SEPTEMBER 2025

LANDSCAPING AND FINAL RESTORATION = SEPTEMBER - OCTOBER 2025

THE INTENDED SEQUENCES OF SITE CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:

1. INSTALL EROSION CONTROL MEASURES AS INDICATED ON THE EROSION CONTROL PLAN AND IN ACCORDANCE WITH THE REQUIREMENTS OF WDNR CONSERVATION PRACTICE STANDARDS.
2. STRIP TOPSOIL AND REMOVE VEGETATION.
3. RE-GRADED AND FILL AREA FOR LOT, CONSTRUCT SCREENING BERMS.
4. INSTALL STORM SEWER AND STRUCTURES.
5. FINE GRADE AND INSTALL PAVEMENT.
6. LANDSCAPING AND FINAL RESTORATION.
7. RESTORE ALL AREAS OF BARE SOIL WITH 4" TOPSOIL SEED AND MULCH.
8. WHEN THE SITE VEGETATION HAS BEEN ESTABLISHED AND THE POTENTIAL OF EROSION IS STABILIZED, THE TEMPORARY EROSION CONTROL MEASURE WILL BE REMOVED.

*CONSTRUCTION ACTIVITY DATES ARE APPROXIMATE AND MAY CHANGE DUE TO WEATHER OR OTHER UNFORESEEN REASONS.



Soil Loss & Sediment Discharge Calculation Tool
for use on Construction Sites in the State of Wisconsin

WDNR Version 2.1 (12-05-2024)



Developer: Robinson Inc.
Project: West Laydown Yard - De Pere
Date: 07/23/25
County: Brown

County:		Brown		Version 2.1											
Activity (1)	Begin Date (2)	End Date (3)	Period % R (4)	Annual R Factor (5)	Sub Soil Texture (6)	Soil Erodibility K Factor (7)	Slope (%) (8)	Slope Length (ft) (9)	LS Factor (10)	Land Cover C Factor (11)	Soil loss A (tons/acre) (12)	SDF (13)	Sediment Control Practice (14)	Sediment Discharge (t/ac) (15)	
Bare Ground	08/25/25	09/15/25	10.1%	100	Silly Clay Loam	0.43	25.0%	20	2.78	1.00	12.0	0.456	Inlet Protection	3.8	
Seed with Mulch or Er	09/15/25	11/15/25	10.8%	100	Silly Clay Loam	0.43	25.0%	20	2.78	0.10	1.3	0.456	Inlet Protection	0.4	
End	11/15/25	*****	*****	*****	*****	*****	25.0%	20	2.78	*****	*****	0.000	Inlet Protection	0.0	
		*****	*****	*****	*****	*****	25.0%	20	2.78	*****	*****	0.000		0.0	
		*****	*****	*****	*****	*****	25.0%	0	*****	*****	*****	0.000		0.0	
		*****	*****	*****	*****	*****	0.0%	0	*****	*****	*****	0.000		0.0	
SLOPE > 20% USE PRESCRIPTIVE COMPLIANCE											TOTAL	13.3		TOTAL	4.3
Notes:													% Reduction Required	NONE	

SLOPE > 20% USE PRESCRIPTIVE COMPLIANCE

Notes:
See Help Page for further descriptions of variables and items in drop-down boxes.
The last land disturbing activity on each sheet must be 'End'. This is either 12 months from the start of construction or final stabilization.
For periods of construction that exceed 12 months, please demonstrate that 5 tons/acre/year is not exceeded in any given 12 month period.

Recommended Permanent Seeding Dates:
4/15-6/1 and Thaw-6/30 8/1-8/21 Turf, introduced grasses and legumes Native Grasses, forbs, and legumes

NOTE: THIS TOOL ONLY ADDRESSED SOIL EROSION DUE TO SHEET FLOW. MEASURES TO CONTROL CHANNEL EROSION MAY ALSO BE REQUIRED TO MEET SEDIMENT DISCHARGE REQUIREMENTS.

Designed By: SPK
Date: 7/23/2025

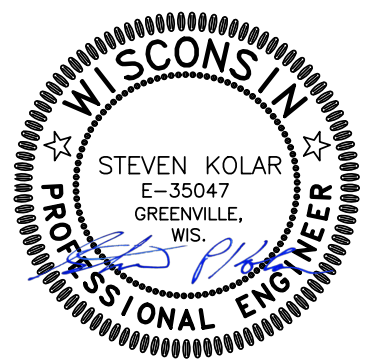
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NO	REVISION DESCRIPTION	DATE

Payne+Dolan
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(820) 757-1558

PROJECT
WEST LAYDOWN YARD

CLIENT
ROBINSON METAL, INC
1740 EISENHOWER DRIVE
DE PERE, WI 54114-5905



SHEET TITLE
EROSION CONTROL PLAN

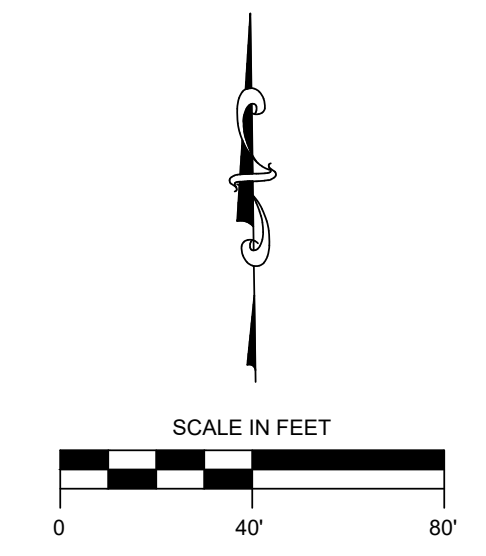
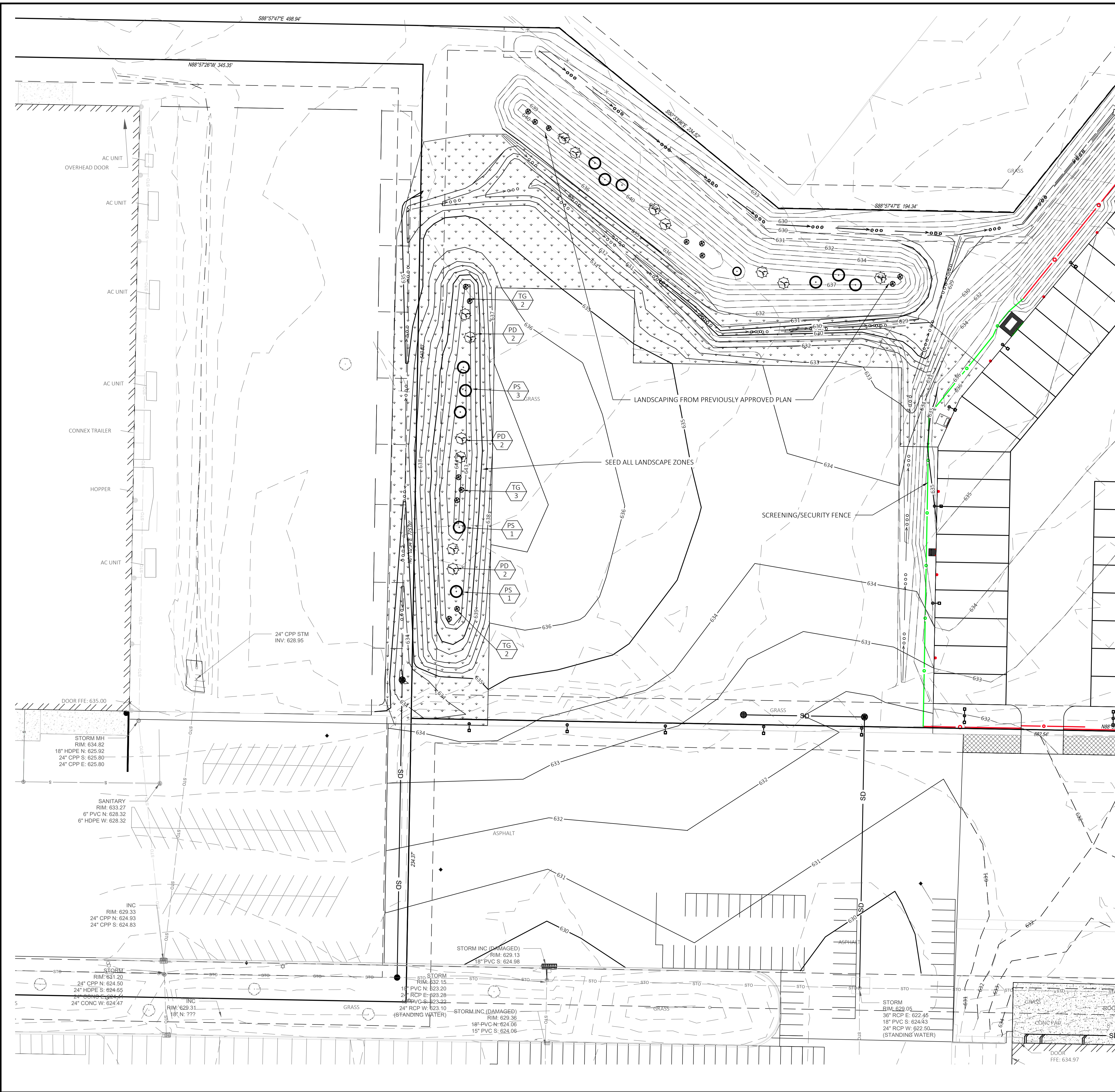
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Drawn: SPK 7/23/2025
Checked: HAM 7/23/2025
P&D Project No: 491070
Sheet No:

C3



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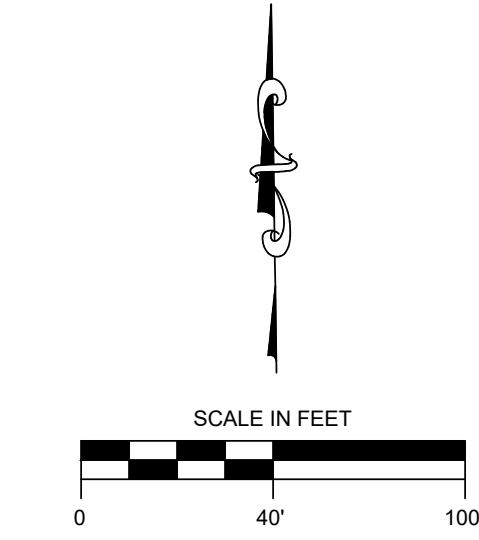
PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	QTY	INSTALLED SIZE	ROOT	SPACING
PD	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	6	6' HIGH	B&B	AS SHOWN
PS	PINUS STROBUS	EASTERN WHITE PINE	5	6' HIGH	B&B	AS SHOWN
TG	THUJA GREEN GIANT	GREEN GIANT THUJA	7	6' HIGH	B&B	AS SHOWN



PROJECT	WEST LAYDOWN YARD	CLIENT	ROBINSON METAL, INC 1740 EISENHOWER DRIVE DE PERE, WI 54114-5905	DATE	
				REVISION DESCRIPTION	
NO					
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Checked:				HAM 7/23/2025	
P&D Project No:				491070	
Sheet No:				C4	





EXISTING LEGEND

- DS DOWN SPOUT
- IP FOUND, IRON PIPE
- LP LIGHT POLE
- FD FIRE HYDRANT
- IN INLET
- MH MANHOLE
- GV GAS VALVE
- WV WATER VALVE
- UM UTILITY METER
- UP UTILITY PEDESTAL
- TR TREE
- PP POWER POLE
- EE EXISTING UNDERGROUND ELECTRIC
- SS EXISTING STORM SEWER
- SAN EXISTING SANITARY SEWER
- W EXISTING WATER LINE
- T EXISTING UNDERGROUND TELEPHONE
- FO EXISTING FIBER OPTIC
- ET EXISTING TREE LINE
- RL RIGHT OF WAY LINE

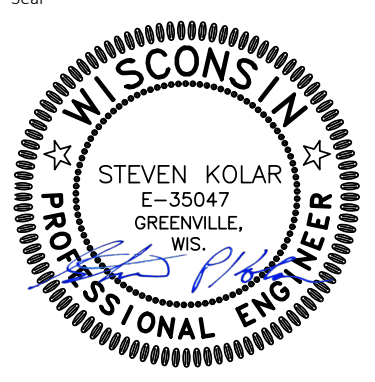


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NO	REVISION DESCRIPTION	DATE



PROJECT WEST LAYDOWN YARD	CLIENT ROBINSON METAL, INC 1740 EISENHOWER DRIVE DE PERE, WI 54114-5905
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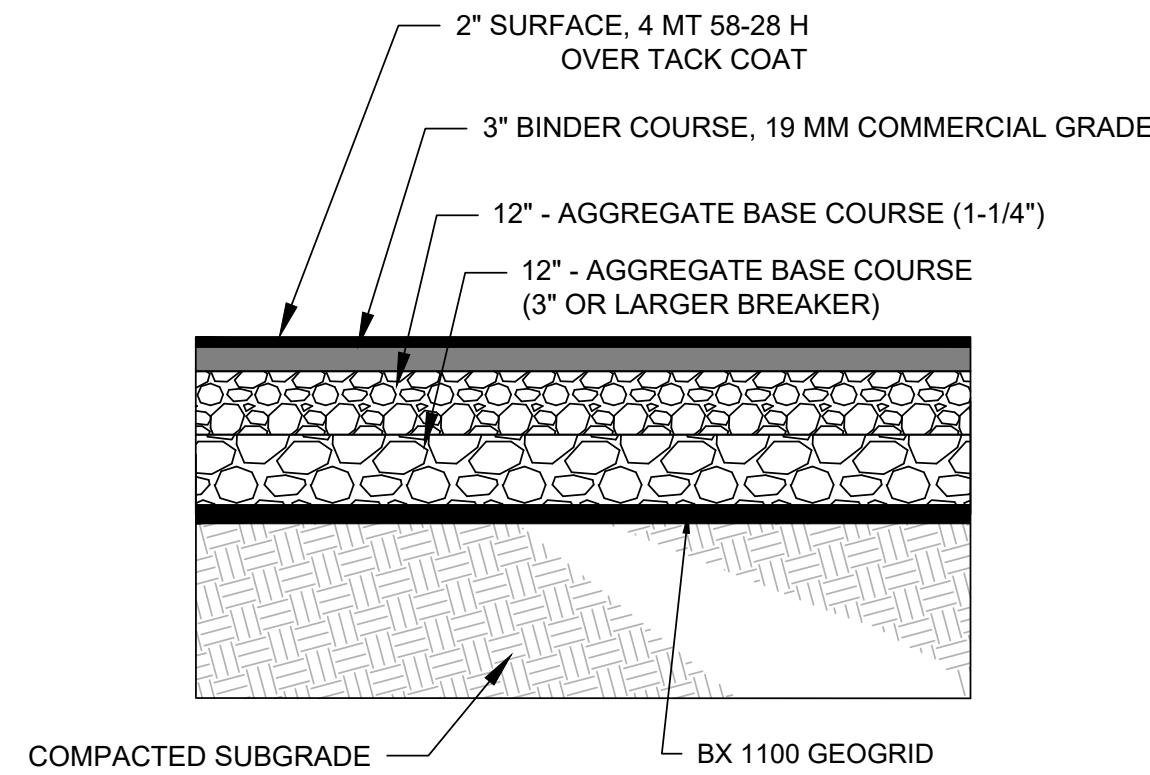


PROJECT TITLE TOPOGRAPHIC SURVEY
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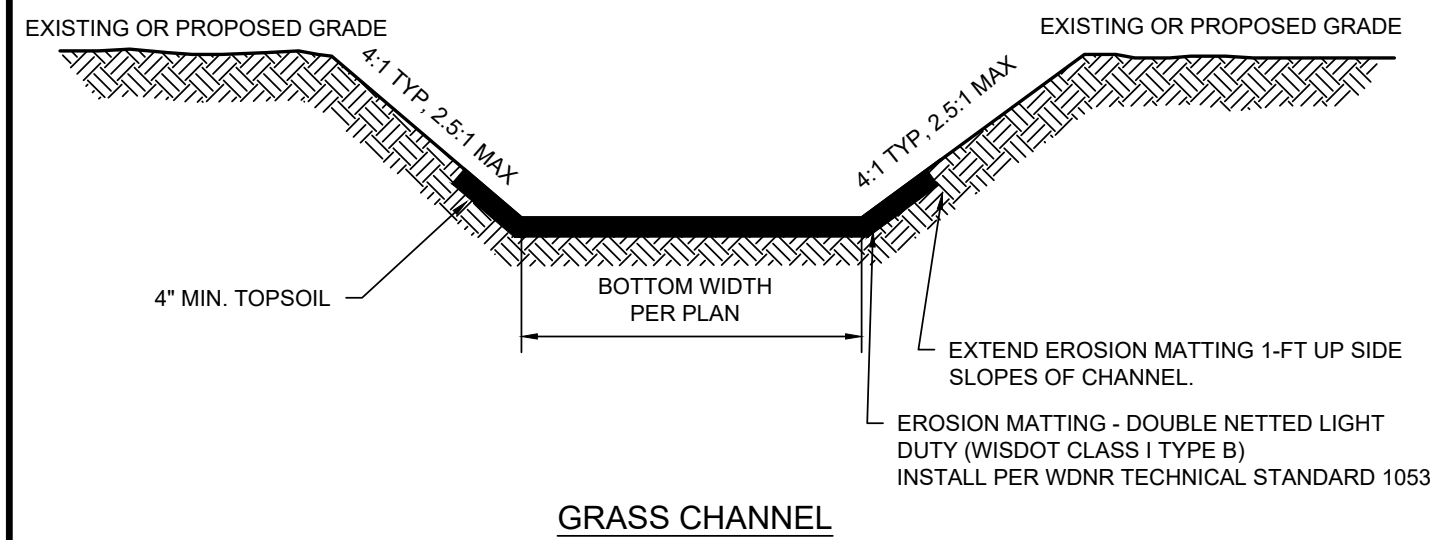
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Sheet No:	C5

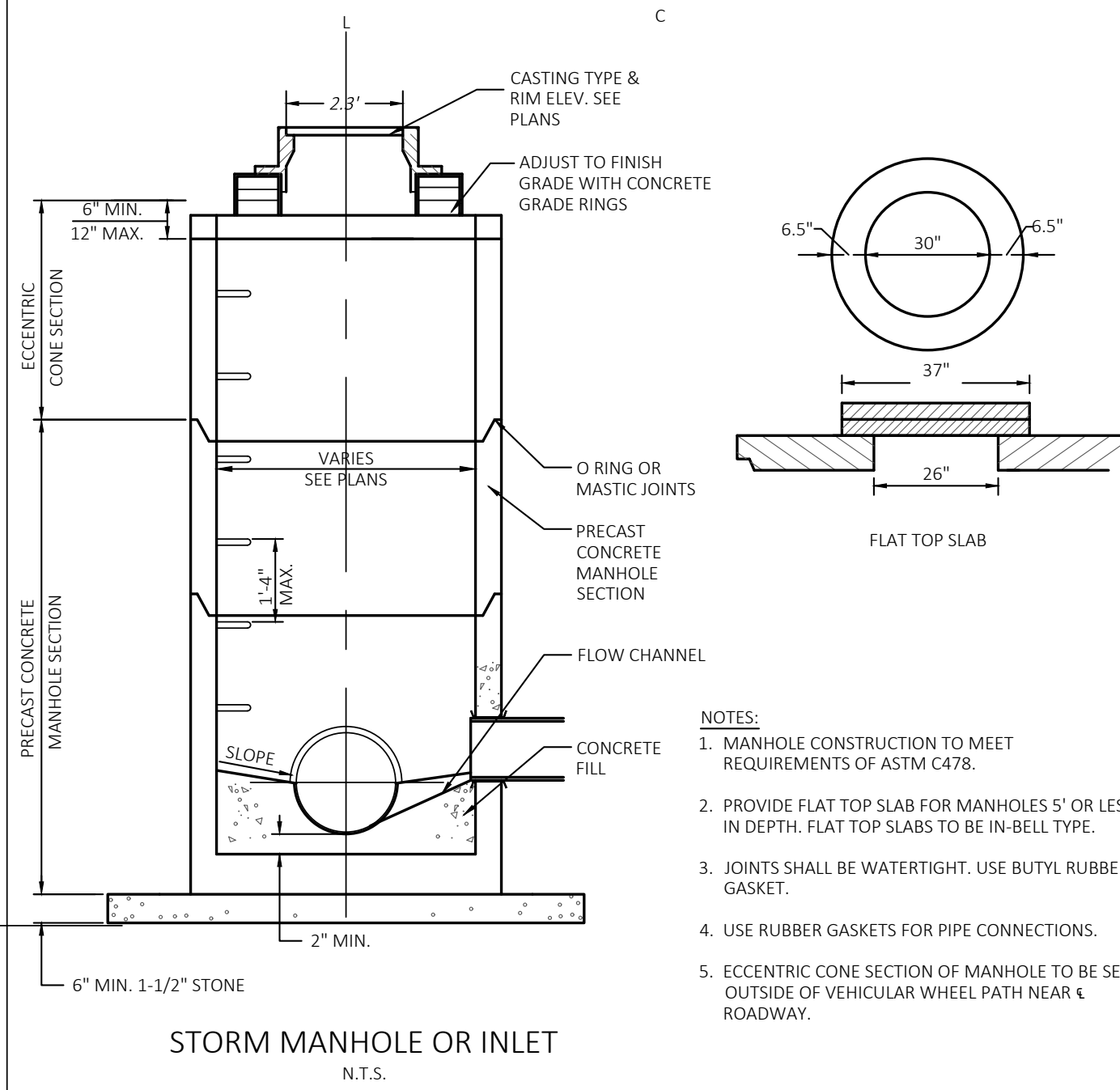
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HEAVY DUTY HMA PAVEMENT SECTION

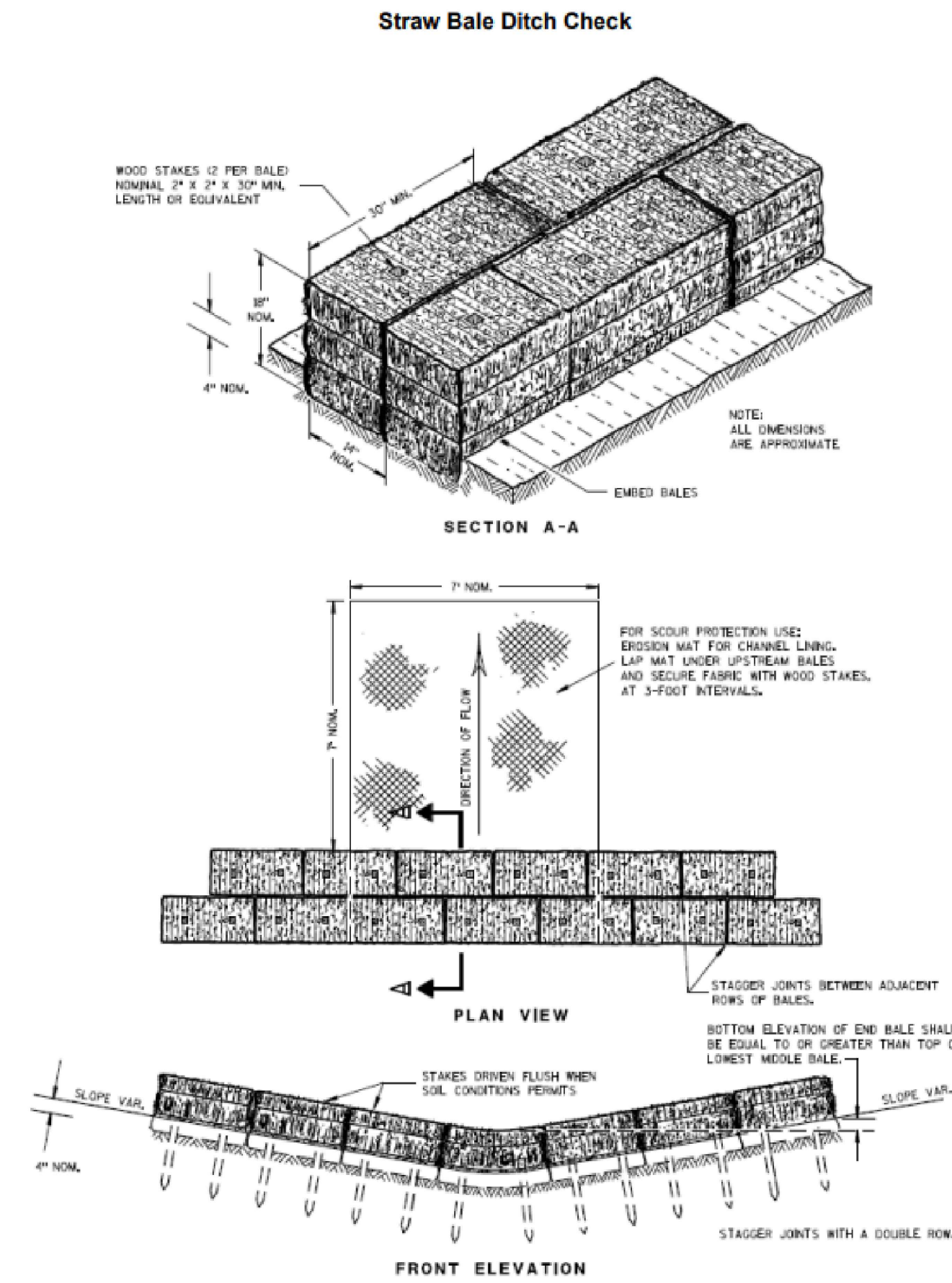


GRASS CHANNEL



STORM MANHOLE OR INLET
N.T.S.

- NOTES:
1. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
 2. PROVIDE FLAT TOP SLAB FOR MANHOLES 5' OR LESS IN DEPTH. FLAT TOP SLABS TO BE IN-BELL TYPE.
 3. JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
 4. USE RUBBER GASKETS FOR PIPE CONNECTIONS.
 5. ECCENTRIC CONE SECTION OF MANHOLE TO BE SET OUTSIDE OF VEHICULAR WHEEL PATH NEAR & ROADWAY.



WDNR
11/2022

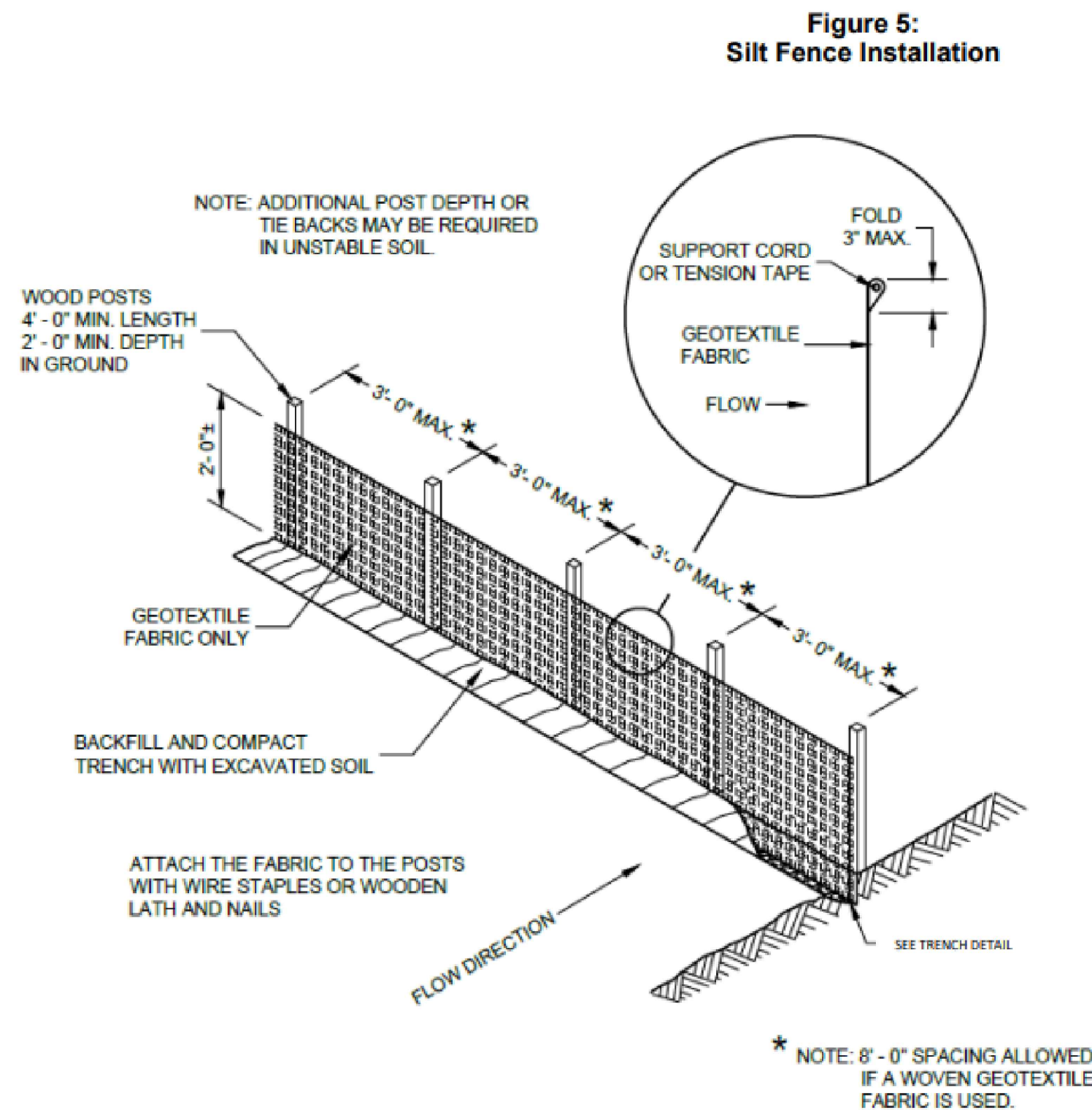
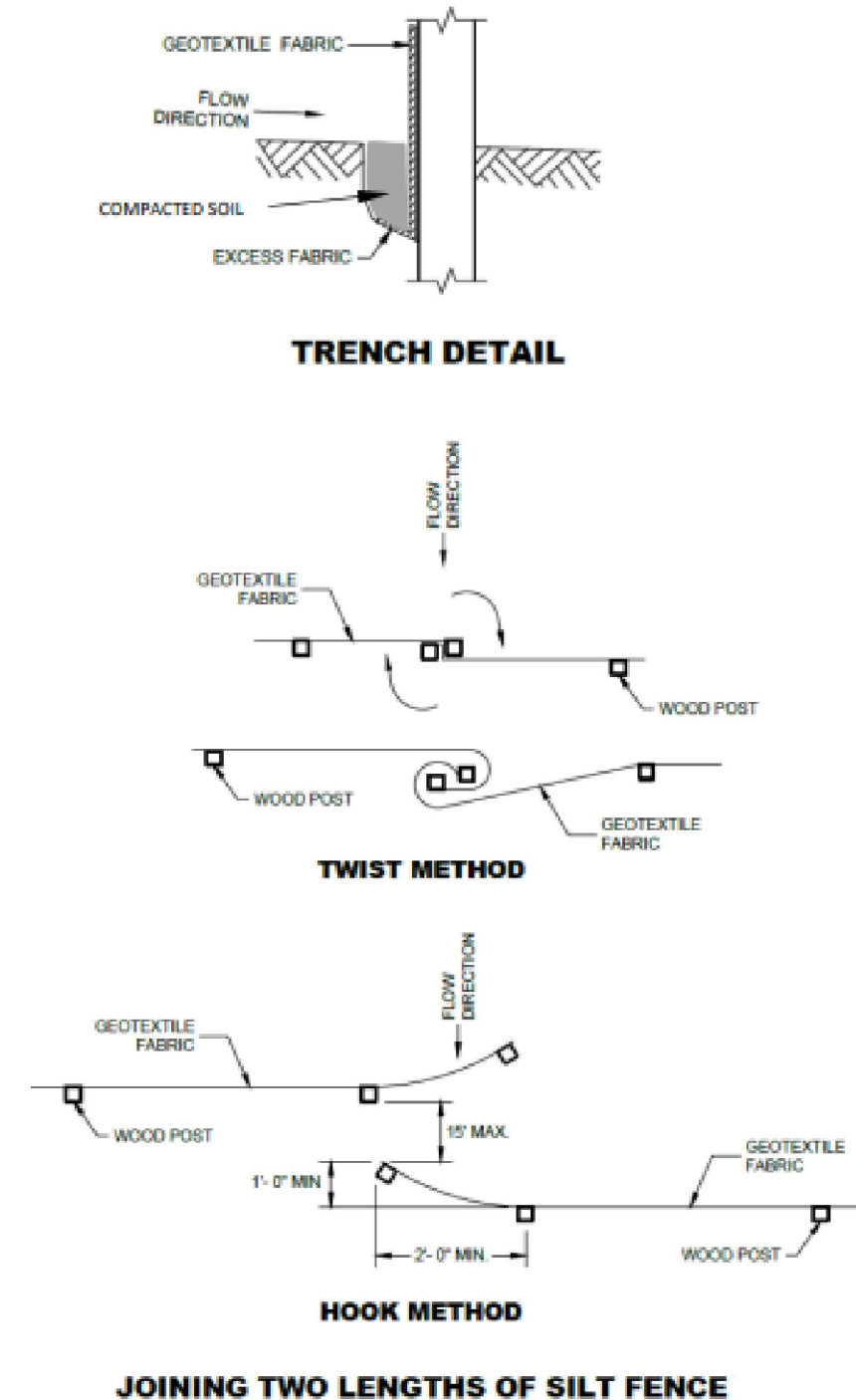
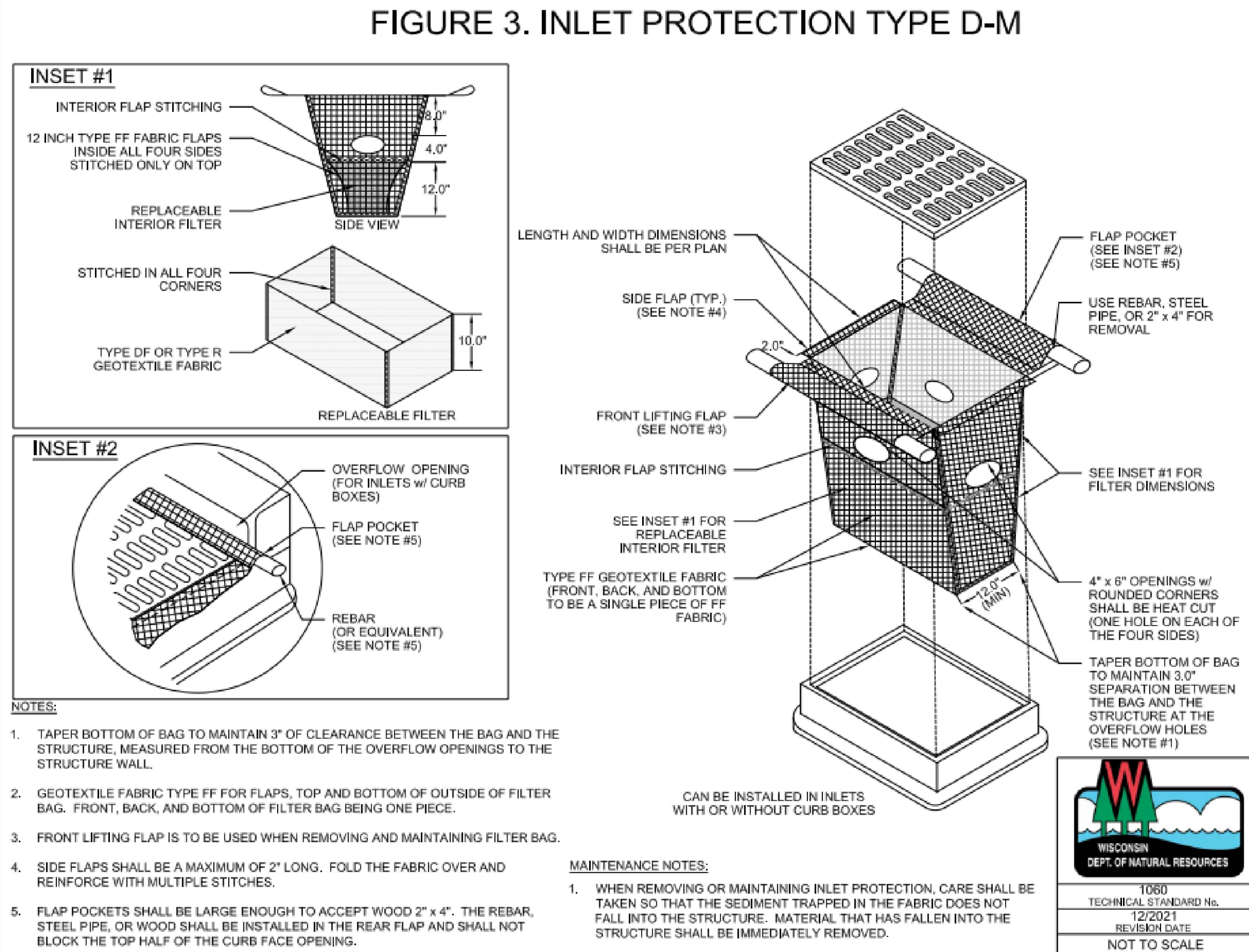


Figure 5:
Silt Fence Installation



1056-TS-12



DATE	
REVISION DESCRIPTION	
NO	

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WEST LAYDOWN YARD

ROBINSON METAL, INC
CLIENT
1740 EISENHOWER DRIVE
DE PERE, WI 54114-5905

STEVEN KOLAR
E-35047
GREENVILLE, WI

DETAILS

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