

Districts:

Property Owner:

property address?

Number:

Address:

representative?

Phone Number:

Email Address:

Planning/Zoning Application

Submitted On:

Apr 15, 2025, 09:57AM EDT

Planning & Zoning Department

Parcel Number: (Include ALL	ED-
parcels)	ED.

D-321, ED-335, ED-1436-1

Nearest property address to the Street Address: 435 S Washington St project site:

City: De Pere State: W **Zip:** 54115

Public & Civic

First Name: Noah

920-217-1765

First Name: Jesse Last Name: Becker

jesseb@pobinc.com

Last Name: Wentland

Yes

Yes

Yes

Check each project type that is being applied for:

Site Plan

Current De Pere Zoning

PI-1

Existing Site Land Uses:

Public & Civic

Proposed Site Land Uses: Does the project comply with

the Comprehensive Plan?

Has City Staff been contacted for a preapplication meeting?

Is the property owner's address the same as the nearest

Property Owner's Phone

Property Owner's Email

Is someone processing the project for the property owner Yes as their authorized

Authorized Representative's Name: **Authorized Representative's**

Business Name: Authorized Representative's

Authorized Representative's

Point of Beginning

7153449999

nwentland@depere.k12.wi.us

Please attach a PDF copsite plan.	oy of the	Dickinson ES Site Plans.pdf
Would you like a basic checklist of information to include in the site plan?		
How do you plan on paying for your application?		Online with a credit card
Total Due:		\$350.00
Jigilatare Data		ne: Jesse ne: Becker dress: jesseb@pobinc.com Tesse Becker

Signed at: April 15, 2025 9:42am America/New_York

User's Session Information

IP Address: 128.92.122.106

Referrer URL:

DICKINSON ELEMENTARY SCHOOL SITE IMPROVEMENTS

UNIFIED SCHOOL DISTRICT OF DE PERE

CONTACT INFORMATION

BIDDING QUESTIONS: MARC MCGUIRE C.D. SMITH CONSTRUCTION MMCGUIRE@CDSMITH.COM P.O. BOX 1006 FOND DU LAC, WI 54936

CONSTRUCTION MANAGER: MARC MCGUIRE C.D. SMITH CONSTRUCTION P.O. BOX 1006 FOND DU LAC, WI 54936

CIVIL ENGINEER: JESSE BECKER, P.E. POINT OF BEGINNING, INC. 4941 KIRSCHLING COURT STEVENS POINT WI, 54481 715-344-9999

OWNER & DEVELOPER: UNIFIED SCHOOL DISTRICT OF DE PERE 1700 CHICAGO ST. DE PERE WI, 54115 920-337-1032



GENERAL PROJECT INFORMATION

NE 1/4 OF THE NE 1/4 OF T23N, R20E, S27 ADDRESS: 435 S WASHINGTON ST, DE PERE, WI 54115

CIVIL SHEET INDEX:

- C0.0 TITLE SHEET
- C1.0 DEMOLITION PLAN
- C2.0 LAYOUT PLAN
- C3.0 GRADING PLAN
- C4.0 EROSION CONTROL PLAN C5.0 UTILITY PLAN
- C6.0 DETAILS
- C6.1 DETAILS
- L1.0 LANDSCAPE PLAN

NIFIE

GENERAL NOTES: CONTRACTOR SHALL LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO COMMENCEMENT OF WORK. 2. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER. 3. INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION, IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.

4. BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE. 5. ANY EXISTING PUBLIC & PRIVATE UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR. 6. COORDINATE ALL PRIVATE & PUBLIC UTILITY REMOVAL, DISCONNECTION, &/OR RECONNECTION WITH RESPECTIVE UTILITY COMPANIES PRIOR TO BEGINNING WORK. 7. COORDINATE UTILITY SERVICE DISCONNECTIONS/OUTAGES WITH OWNER AND ANY IMPACTED NEIGHBORS. MINIMIZE DISRUPTIONS TO THE MAXIMUM EXTENT PRACTICAL. 8. ANY EXISTING UTILITIES NOT EXPRESSLY LABELED FOR DEMOLITION/REMOVAL ON THIS DOCUMENT SHALL BE LEFT IN PLACE AND IN THEIR CURRENT STATE OF OPERATION. CONTACT ENGINEER WHEREVER CLARIFICATION IS NEEDED. 9. STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS. 10. IF STRIPPED TOPSOIL IS STOCKPILED ON SITE, SILT FENCE SHALL BE INSTALLED AROUND THE BASE OF THE STOCKPILE TO PREVENT SEDIMENT TRANSPORT. 11. CITY OF DE PERE WILL PERFORM ALL WORK WITHIN PUBLIC RIGHT OF WAYS. COORDINATE THIS WORK WITH CITY 12. MAINTAIN TRAFFIC CIRCULATION TO ALL NEIGHBORING PROPERTIES SHOWN ON THIS DOCUMENT. COORDINATE ALL WORK WITH NEIGHBORING PROPERTY OWNERS.

EXECUTES:

OF DE PERE PUBLIC WORKS.

-F0 -F0

-PLAY EQUIPMENT

/IRRIGATION BOX

VERTICAL CAPPED CORRUGATED PLASTIC PIPE

10. DISCONNECT & PLUG STORM INLET OUTLET PIPE TO THE ADJACENT STORM 1. REMOVE CONCRETE CURB & GUTTER 18. MAINTAIN FIBER LINE SEWER. INSTALL NEW OUTLET PIPE AS INDICATED ON UTILITY PLAN, SHEET C5.0. REMOVE EX. SIGN AND REINSTALL 2. MAINTAIN CONCRETE SIDEWALK FOLLOWING UTILITY INSTALLATION (SEE UTILITY PLAN) 3. MAINTAIN CONCRETE CURB & GUTTER 11. REMOVE EXISTING LANDSCAPE AREA 20. MAINTAIN STORM SEWER 4. MAINTAIN STORM INLET 12. MAINTAIN CONCRETE BLDG STOOP 21. REMOVE STORM INLET 5. SAWCUT CONCRETE SIDEWALK 13. REMOVE CONCRETE PAVEMENT 22. MAINTAIN ELECTRICAL LINE 6. FILL STORM SEWER WITH CONCRETE SLURRY & ABANDON IN PLACE 14. REMOVE BOLLARD 15. REMOVE STORM SEWER 7. SAWCUT CONCRETE CURB & GUTTER 16. SAWCUT STORM SEWER 8. REMOVE TETHERBALL POST

17. SAWCUT ASPHALT PAVEMENT

DEMOLITION HATCH PATTERNS:

REMOVE ASPHALT PAVEMENT & UNDERLYING GRAVEL

9. MAINTAIN STORM MANHOLE

REMOVE CONCRETE & UNDERLYING GRAVEL

BASE BID: NO WORK ALTERNATE BID C1: REMOVE ASPHALT PAVEMENT & UNDERLYING GRAVEL



BENCHMARK:

BURY BOLT ON HYDRANT,

STREET AND JORDAN STREET. ELEVATION = 625.09

OT 85

OUTL CSM #

UTILITY DISCLAIMER:

S 64°07'51" E

ELEV OUTSIDE DOOR 629.59

CONCRETE CONCRETE

ELEV OUTSIDE DOOR 629.62

ELEV OUTSIDE DOOR 629.63

DOOR 632.97

ELEVATIONS ARE REFERENCED TO NAVD 88 BENCHMARK #1 BURY BOLT ON HYDRANT, LOCATED ON THE SOUTH SIDE OF MERRILL STREET, APPROXIMATELY 430 FEET SOUTHEAST OF THE INTERSECTION OF MERRILL STREET, SOUTH ONTARIO STREET AND JORDAN STREET. ELEVATION = 632.98BENCHMARK #2

LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF MERRILL STREET, SOUTH ONTARIO

FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE

AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND

PRIVATE UTILITIES OR SUBSTRUCTURES SHOW HEREON WERE OBTAINED

4/10/2025 2:17:32 PM

GENERAL NOTES: CONTRACTOR SHALL LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO COMMENCEMENT OF WORK. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER. 3. ALL REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS. 4. SEE SHEET C4.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS. 5. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR. . VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION. 7. BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE. 8. PRIOR TO STARTING WORK, VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE 9. COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES. 10. PROVIDE PROPER BARRICADES, SIGNS, AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. 11. SIDEWALK JOINTS SHALL BE INSTALLED AS INDICATED OR AS APPROVED BY THE CONSTRUCTION MANAGER. 12. ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED, FERTILIZED, AND CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. PAVEMENT HATCH PATTERNS: ASPHALT PAVEMENT (SEE UTILITY PLAN) 11. CROSSWALK STRIPING 13. RELOCATE COMPACTOR 14. RELOCATE DUMPSTER

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-PLAY EQUIPMENT

ELEV=632.98

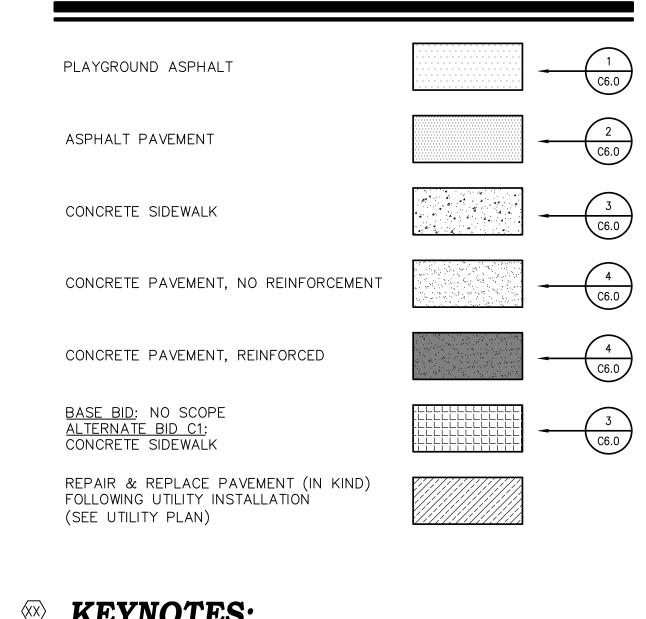
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-- 28.07' -- ₩

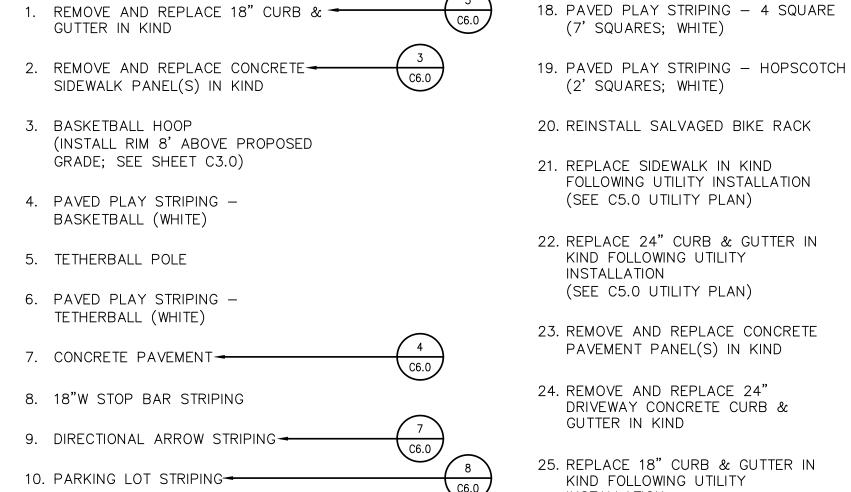
_____ 93.23**'** _____

ELEV OUTSIDE OVERHANG

DOOR 632.97



EXECUTES:



- 21. REPLACE SIDEWALK IN KIND FOLLOWING UTILITY INSTALLATION (SEE C5.0 UTILITY PLAN)
- KIND FOLLOWING UTILITY INSTALLATION (SEE C5.0 UTILITY PLAN)
- 23. REMOVE AND REPLACE CONCRETE PAVEMENT PANEL(S) IN KIND
- 24. REMOVE AND REPLACE 24"
 DRIVEWAY CONCRETE CURB & GUTTER IN KIND
- 25. REPLACE 18" CURB & GUTTER IN KIND FOLLOWING UTILITY INSTALLATION (SEE C5.0 UTILITY PLAN)

12. INSTALL 45 L.F. OF 6" PVC EMPTY CONDUIT FOR COMPACTOR CABLES (DAYLIGHT TO PROPOSED GRADE)

- 15. 24" CURB & GUTTER (REJECT) ←
- 16. REMOVE AND REPLACE CONCRETE -SIDEWALK PANEL AND INSTALL NEW DETECTABLE WARNING PLATE
- 17. ADA PARKING STALL

BENCHMARK:

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OU_ SM

ELEV=625.09

ELEVATIONS ARE REFERENCED TO NAVD 88 BENCHMARK #1 BURY BOLT ON HYDRANT, LOCATED ON THE SOUTH SIDE OF MERRILL STREET, APPROXIMATELY 430 FEET SOUTHEAST OF THE INTERSECTION OF MERRILL STREET, SOUTH ONTARIO STREET AND JORDAN STREET. ELEVATION = 632.98BENCHMARK #2 BURY BOLT ON HYDRANT, LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF MERRILL STREET, SOUTH ONTARIO

STREET AND JORDAN STREET.

ELEVATION = 625.09

UTILITY DISCLAIMER: THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOW HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

ELEV OUTSIDE DOOR 629.59

DICKINSON ELEMENTARY SCHOOL

CONCRETE CON

ELEV OUTSIDE DOOR 629.62

CONCRETE -

ELEV OUTSIDE DOOR 629.63

S 64°07'51" E

NIFIE

GENERAL NOTES:

CONTRACTOR SHALL LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO COMMENCEMENT OF WORK. . GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.

3. INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.

4. 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.

5. SEE SHEET C4.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.

6. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR. 7. COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND

8. EXCESS TOPSOIL SHALL BE REMOVED FROM SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER. COORDINATE WITH OWNER FOR LOCATION OF STOCKPILE IF THE OWNER CHOOSES TO SALVAGE EXCESS TOPSOIL FOR FUTURE

USE. SILT FENCE SHALL BE PLACED AROUND STOCKPILE

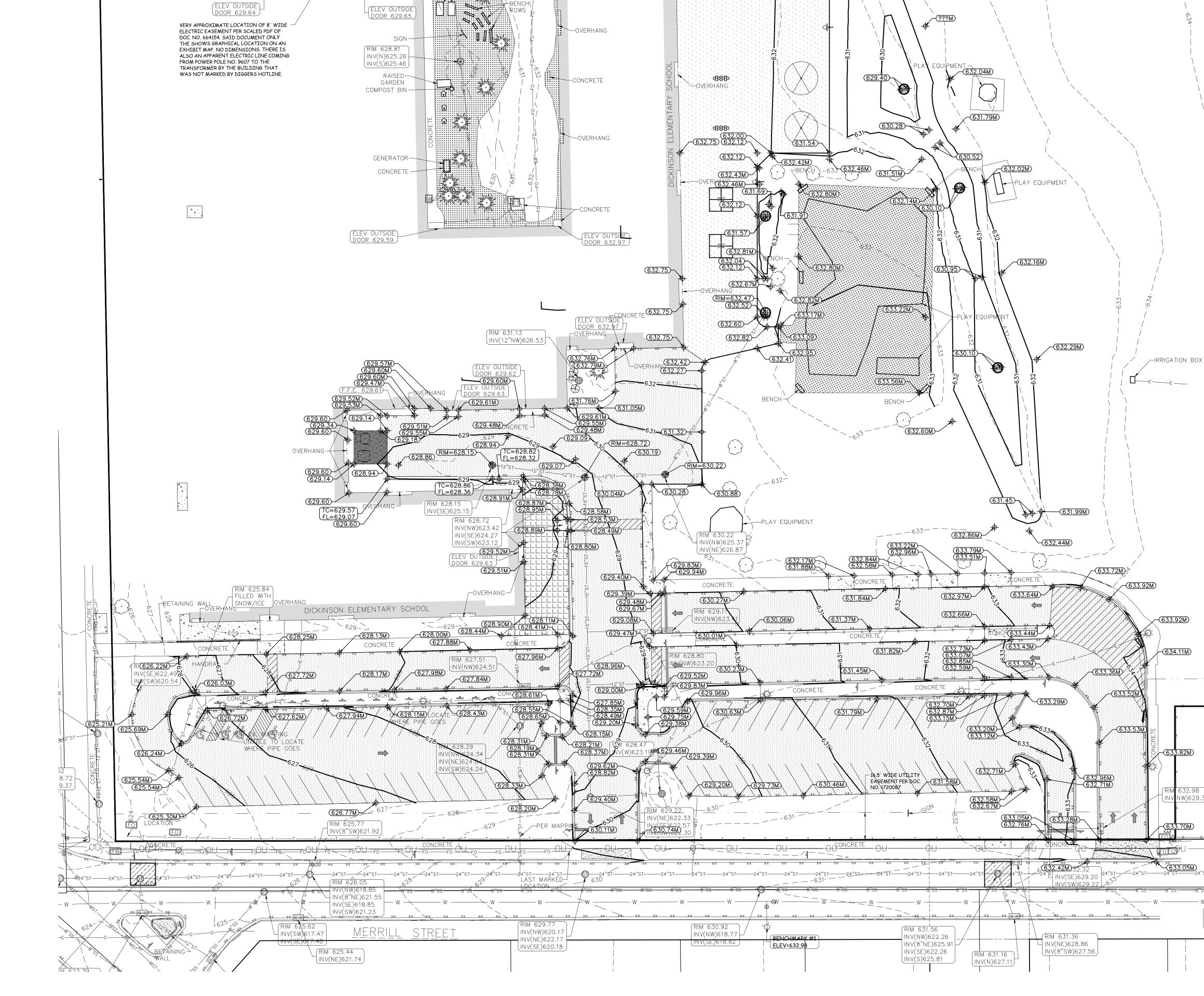
9. ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21. 10. THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY.

11. THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING.

12. THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.

GRADING LEGEND:

EXISTING CONTOUR	— — — 712 — —
PROPOSED CONTOUR	
PROPOSED SPOT ELEVATION	<u>892.26</u>
PROPOSED RIM ELEVATION	(RIM=893.56)
PROPOSED TOP OF CURB ELEVATION	(TC=893.56) +
PROPOSED FLOW LINE ELEVATION	(FL=893.56) +
PROPOSED MATCH ELEVATION (CONTRACTOR TO VERIFY)	(892.05M) →
PROPOSED STORM SEWER INLET	(C6.1)



DOOR 633.00

(ELEV OUTSIDE)

DOOR 632.95

OVERHANG

632.89

(631.51)

BENCHMARK:

STREET AND JORDAN STREET.

ELEVATION = 625.09

UNABLE TO LOCATE WHERE PIPE GOES

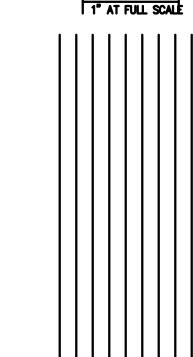
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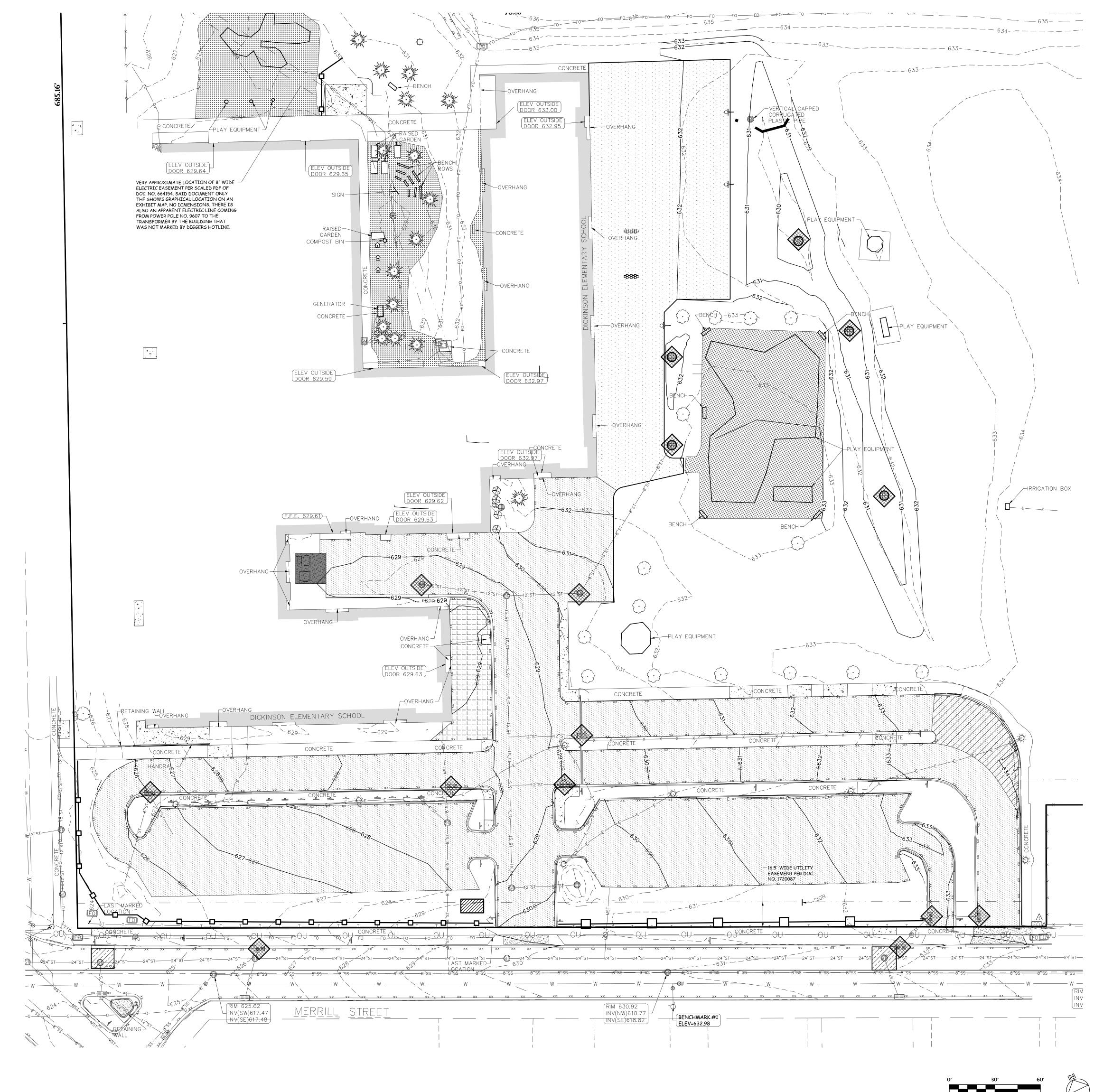
∠play equipment →

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THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOW HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

UTILITY DISCLAIMER:





BENCHMARK: **UTILITY DISCLAIMER:**

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STREET AND JORDAN STREET.

ELEVATION = 625.09

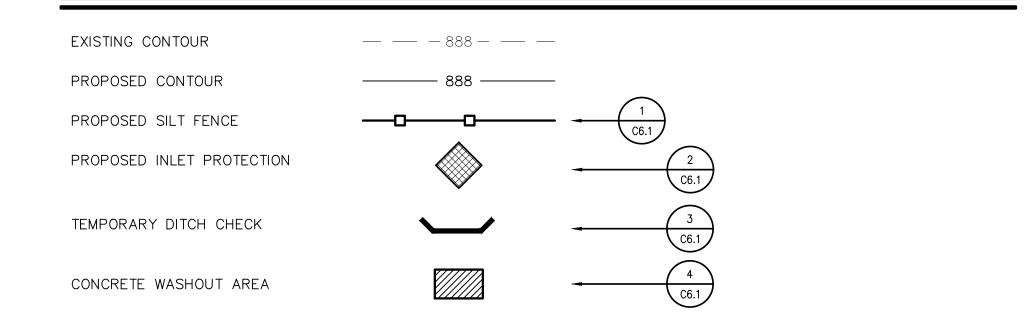
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AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

GENERAL NOTES:

- CONTRACTOR SHALL LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO COMMENCEMENT OF WORK. . NOTIFY THE LOCAL MUNICIPALITY AT LEAST 2 WORKING DAYS PRIOR TO THE START OF SOIL DISTURBING ACTIVITIES. 3. INSTALL ALL TEMPORARY EROSION CONTROL ELEMENTS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION. 4. ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
- 5. OFFSITE SEDIMENT DEPOSITS RESULTING FROM STORMWATER RUNOFF SHALL BE CLEANED BY THE END OF THE NEXT WORKDAY. OFFSITE SEDIMENT DEPOSITS RESULTING FROM CONTRACTOR ACTIVITIES, INCLUDING SOIL TRACKING, SHALL BE CLEANED EACH WORKDAY. EXCESSIVE AMOUNTS OF SEDIMENT OR DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS ON ADJACENT STREETS SHALL SWEPT MECHANICALLY OR MANUALLY AT LEAST WEEKLY AND BEFORE IMMINENT RAINFALL.
- 6. DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREAS, INCLUDING SOIL STOCKPILES, THAT ARE LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER APPROVED METHODS.
- 7. WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO RECEIVING WATERS. 8. EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
- 9. INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE NOTICE OF INTENT SUBMITTED BY
- 10. ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID. 11. IF SEDIMENT LADEN WATER NEEDS TO BE REMOVED FROM THE SITE, FILTER BAGS OR SCREENING SHALL BE USED IN
- ACCORDANCE WITH WI DNR TECHNICAL STANDARD 1061 TO PREVENT SEDIMENT DISCHARGE TO THE MAXIMUM EXTENT 12. COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS,
- CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE). 13. IF BARE SOIL IS EXPOSED DURING THE WINTER MONTHS, STABILIZATION BY MULCHING OR ANIONIC POLYACRYLAMIDE SHALL OCCUR PRIOR TO SNOWFALL OR GROUND FREEZE
- 14. SILT FENCE SHALL BE INSTALLED AROUND THE TOPSOIL STOCKPILE. 15. THE CONTRACTOR SHALL PERFORM INSPECTIONS AND MONITORING OF EROSION CONTROL PRACTICES IN ACCORDANCE WITH THE WI DNR "CONSTRUCTION SITE INSPECTION REPORT" FORM 3400-187. THIS FORM CAN BE FOUND IN THE CONSTRUCTION SPECIFICATIONS.

EROSION CONTROL LEGEND:



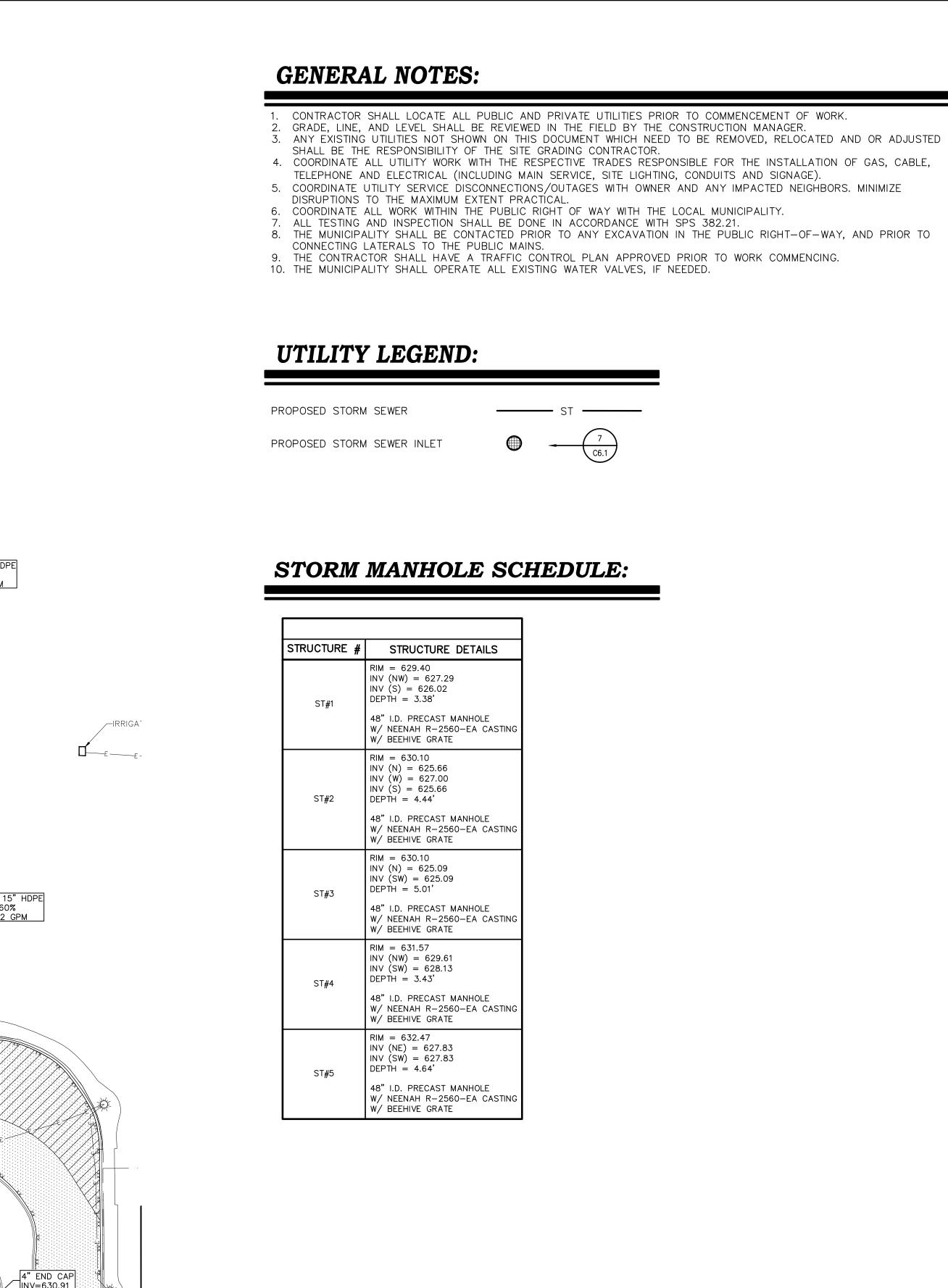
EROSION CONTROL SEQUENCING:

- 1. INSTALL PERIMETER EROSION CONTROL
- 2. BEGIN DEMOLITION 5. BEGIN ROUGH GRADING AND UTILITY INSTALLATION
- 4. DURING GRADING ACTIVITIES EXISTING GRASS AND VEGETATION, TO BE REMOVED, SHALL REMAIN IN PLACE FOR AS LONG AS POSSIBLE, TO AVOID SEDIMENT TRANSPORT . TEMPORARY STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED AND WILL NOT RESUME FOR A

BE APPLIED TO ALL DISTURBED AREAS PRIOR TO GROUND FREEZE. SEE SPECIFICATIONS

PERIOD EXCEEDING 14 CALENDAR DAYS. 6. FINAL STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING ACTIVITIES CEASE AND FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE. 7. IF DISTURBED AREAS MUST BE LEFT OVER WINTER, AN ANIONIC POLYACRYLAMIDE SHALL

UNIFIED



RIM = 629.40| INV (NW) = 627.29INV (S) = 626.02DEPTH = 3.38'

48" I.D. PRECAST MANHOLE W/ NEENAH R-2560-EA CASTING

48" I.D. PRECAST MANHOLE W/ NEENAH R-2560-EA CASTING

48" I.D. PRECAST MANHOLE W/ NEENAH R-2560-EA CASTING

48" I.D. PRECAST MANHOLE W/ NEENAH R-2560-EA CASTING W/ BEEHIVE GRATE

48" I.D. PRECAST MANHOLE
W/ NEENAH R-2560-EA CASTING
W/ BEEHIVE GRATE

W/ BEEHIVE GRATE

RIM = 630.10INV (N) = 625.66INV (W) = 627.00INV(S) = 625.66

DEPTH = 4.44

W/ BEEHIVE GRATE

W/ BEEHIVE GRATE

RIM = 632.47INV (NE) = 627.83INV (SW) = 627.83DEPTH = 4.64

RIM = 631.57INV (NW) = 629.61|NV(SW)| = 628.13DEPTH = 3.43'

RIM = 630.10INV (N) = 625.09INV (SW) = 625.09DEPTH = 5.01'

CO PL.	ERTICAL CAPPED DRRUGATED LASTIC PIPE
VERY APPROXIMATE LOCATION OF 8' WIDE ELECTRIC FASEMENT FOR SCALED POF OF DOC, NO. 664159, SAID DOCUMENT ONLY THE SHOWS GRAPHACA LOCATION ON AN EXHIBIT MAP, NO DIMENSIONS, THERE IS ALSO AN APPRANTE LECTRIC LINE COMING FROM FOWER POLE NO. 9607 TO THE TRANSFORMER BY THE BUILDING THAT WAS NOT MARKED BY DISGERS HOTLINE. RAISED COMPOST BIN RAISED GRABEN GRABEN GRABEN GARBEN GARREN GOMPOST BIN GERMANN GOMPOST BIN GOMPOST BIN GERMANN GOMPOST BIN GOMPOST BIN GERMANN GOMPOST BIN GERMANN GOMPOST BIN GERMANN GOMPOST BIN GO	49 L.F. OF 4" HDPE STORM @ 5.00% PLAY EQUIPMENT ST#1
7 L.F. OF 4" HDPE STORM @ 15.00% 58 L.F. OF 8" HDPE STORM @ 0.52% STORM @ 0.52%	68 L.F. OF 15" HDPE STORM @ 0.52% FLOW = 1272 GPM BENCH ST#2 PLAY EQUIPMENT 23 L.F. OF 4" HDPE STORM @ 16.28% 4" TEE NV=630.74 111 L.F. OF 15" HDPE STORM @ 0.52% FLOW = 1430 GPM
FLOW = 154 CPM BO LF, OF 4" PERFORATED UNDERDRAIN @ 0,002 INSTALL 27 LF, OF 4" PERFORATED HDPE UNDERDRAIN WITH SOCK, PIPE INVERT TO BE LAID FLUSH WITH BOTTOM OF BREAKER RUN SECTION. (SEE DETAIL 1/C6.0) INSTALL 27 LF, OF 4" PERFORATED HDPE UNDERDRAIN WITH SOCK, PIPE INVERT TO BE LAID FLUSH WITH BOTTOM OF BREAKER RUN SECTION. (SEE DETAIL 1/C6.0)	ST#3 ST#3 ST#3 IRRIGATED IRRIGATE
INSTALL 27 LF. OF 4" PERFORATED HOPE UNDERDRAIN WITH SOCK, PIPE INVERT TO BE LAID FLUSH WITH BOTTOM OF BREAKER RUN SECTION. (SEE DETAIL 1/C6.0) 4" TEE CORE CONNECT 4" UNDERDRAIN TO EXISTING STORM INLET WITH RUBBER BOOT AT INV. 626.32 RIM 628.15 INV(ST)625.15 INV(ST)625.12 INV(SW)623.12 INV(SW)623.12 INV(SW)623.12 INV(SW)623.12 INV(SW)623.12	304 L.F. OF 15" HDPE STORM @ 0.60% FLOW = 2132 GPM
RETAINING WALL RETAINING WALL RETAINING WALL RETAINING WALL RIM 625.84 FILLD WITH SOCK. PIPE INVERT TO BE LAW GORE CONNECT 4" UNDERDRAIN TO EXISTING STORM INLET WITH RUBBER BOOT AT INV. 627.28 RIM 625.84 INVESC.5 15 10 15 16 16 16 16 16 16 INSTALL 50 L.F. OF 4" PERFORATED HOPE TO EXISTING STORM INLET WITH RUBBER BOOT AT INV. 627.28 RIM 625.84 INVESC.5 15 10 16 16 16 16 INSTALL 50 L.F. OF 4" PERFORATED HOPE UNDERDRAIN TO EXISTING STORM INLET WITH SOCK PIPE INVERT TO BE LAID FLUSH WITH BOTTOM OF BREAKER RUN SECTION. (SEE DETAIL 1/66.10) RIM 625.84 INV(S) 622.49 INV(DETAIL 1/C6.0) DERDRAIN WITH BOTTOM S.O)
CONTRICT PROPOSED 15" INVINE)618.72 INVINE)618.73 INVINE)618.73	SEMENT PER DOC. 1.1720087 L.F. OF 4" PERFORATED HDPE UNDERDRAIN PE INVERT TO BE LAID FLUSH WITH BOTTOM REAKER RUN SECTION. (SEE DETAIL 1/C6.0) CORE CONNECT 4" UNDERDRAIN TO EXISTING INVERT RUBBER BOOT AT INV. 630.49
41 L.F. OF 15" HDPE TO TOP OF 15" STORM PIPE. TO TOP OF 15" STORM PIPE	XX

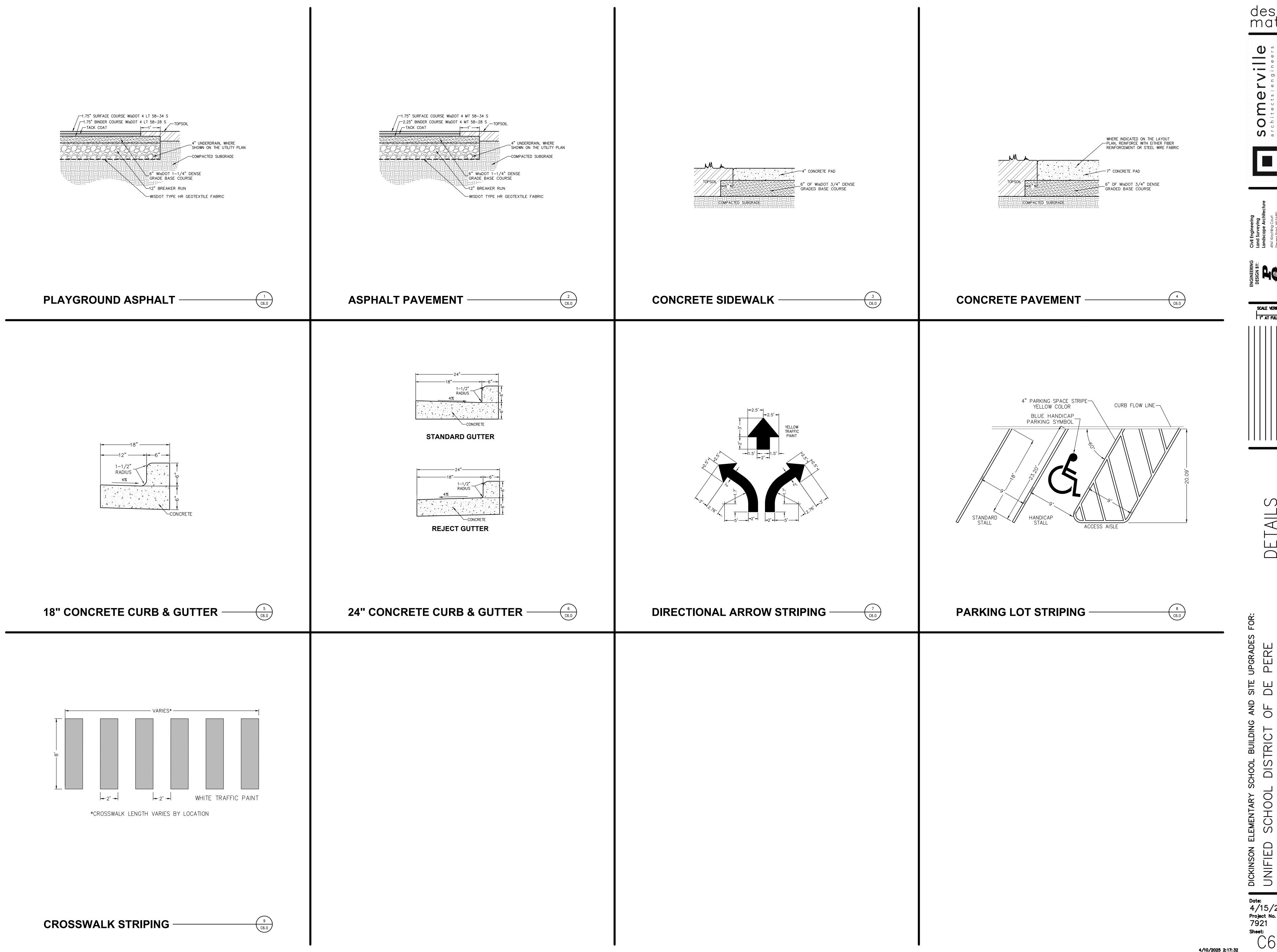
BENCHMARK:

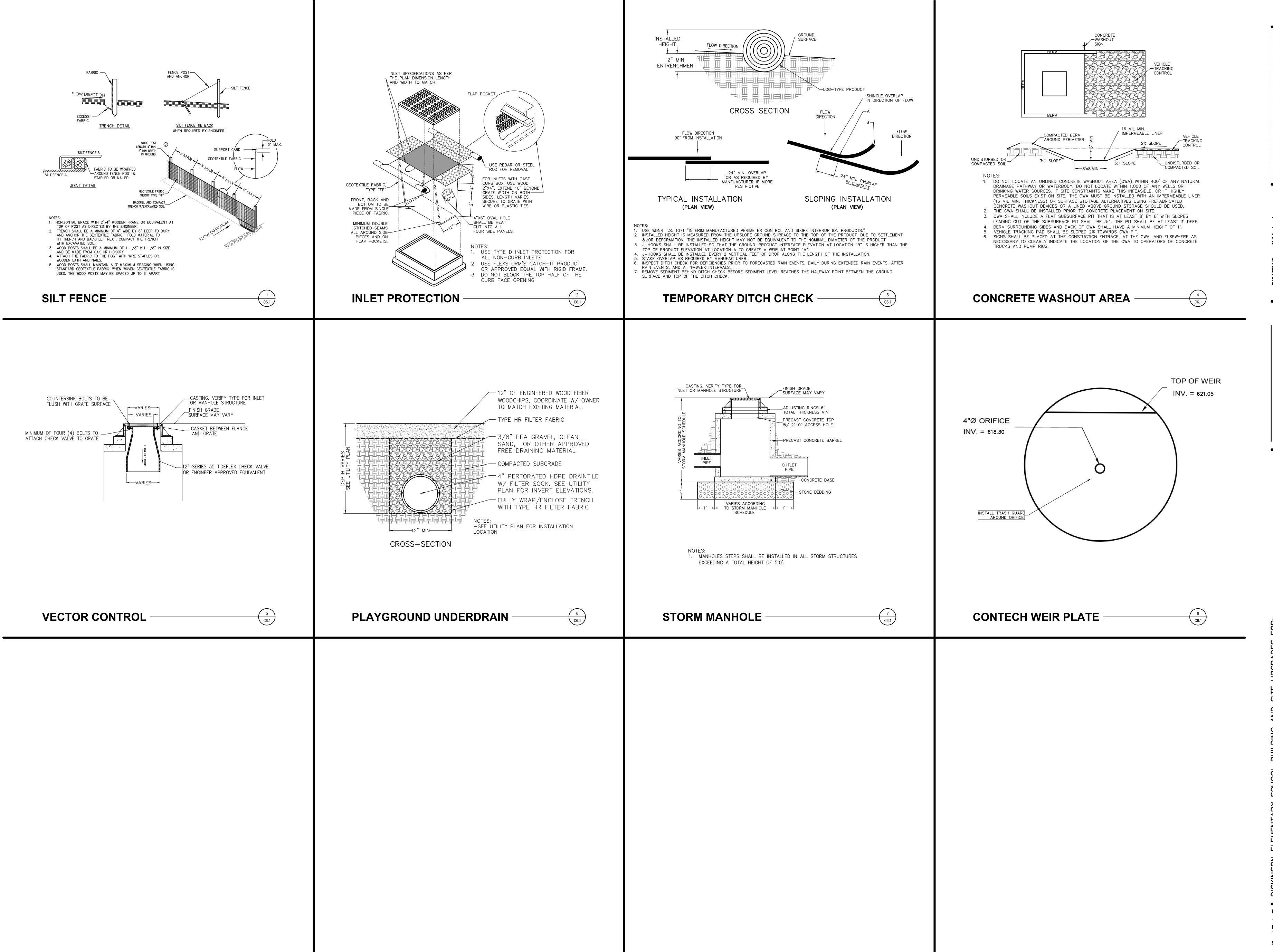
UTILITY DISCLAIMER:

ELEVATIONS ARE REFERENCED TO NAVD 88 BENCHMARK #1 BURY BOLT ON HYDRANT, LOCATED ON THE SOUTH SIDE OF MERRILL STREET, APPROXIMATELY 430 FEET SOUTHEAST OF THE INTERSECTION OF MERRILL STREET, SOUTH ONTARIO STREET AND JORDAN STREET. ELEVATION = 632.98 BENCHMARK #2 BURY BOLT ON HYDRANT,
LOCATED AT THE NORTHEAST QUADRANT OF THE
INTERSECTION OF MERILL STREET, SOUTH ONTARIO

STREET AND JORDAN STREET. ELEVATION = 625.09

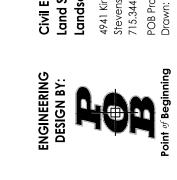
THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOW HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS—BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

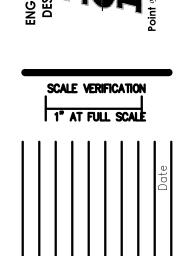


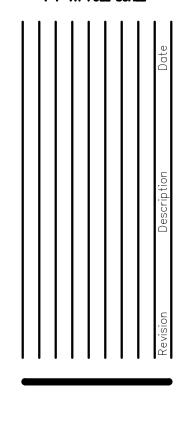


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1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.

2. 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SPECIFIED PLANTING SOIL DEPTH IS PRESENT PRIOR TO PLANTING.

3. SEED/FERTILIZE/CRIMP HAY MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION, EXCEPT AREAS NOTED ON THIS DOCUMENT TO BE SODDED.

4. ALL PLANT MATERIALS LISTED SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION FOR THE SIZES GIVEN.

5. ALL TREES SHALL BE STAKED WITH A MINIMUM OF THREE STAKES. 6. ALL TREES IN THE TURF AREA SHALL HAVE A 5' DIAMETER CIRCLE OF 4" DEPTH SHREDDED HARDWOOD BARK MULCH.

SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.

7. EDG-KING LANDSCAPE EDGING OR EQUAL SHALL BE PLACED AROUND ALL LANDSCAPE BEDS.

8. 3" OF SHREDDED BARK MULCH SHALL BE PLACED IN ALL GROUND COVER PLANTING BEDS. 9. FILTER FABRIC SHALL BE PLACED BENEATH ALL LANDSCAPE STONE OR BARK MULCH. 10. COORDINATE ALL LANDSCAPE WORK WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND

PLANTING SCHEDULE:

TREES SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTIT
GD	GYMNOCLADUS DIOICUS 'ESPRESSO'	ESPRESSO KENTUCKY COFFEE	2" CAL.	50'TX35'W	4
SHRUBS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
BG JP JV	BUXUS X 'GLENCOE' JUNIPERUS CHINESIS 'SHIMPAKU' JUNIPERUS VIRGINIANA 'GREY OWL'	CHICAGOLAND GREEN BOXWOOD SHIMPAKU JUNIPER GREY OWL JUNIPER	5 GAL 5 GAL 5 GAL	3'TX3'W 3'TX5'W 3'TX6'W	40 12 20

WHEN A PARKING LOT IS LOCATED ADJACENT TO A STREET RIGHT—OF—WAY, PARKING LOT RIGHT-OF-WAY.

ACCEPTABLE PARKING LOT SCREENING INCLUDES A VEGETATIVE SCREEN CONSISTING OF SHRUBS PLANTED TO FORM A CONTINUOUS VISUAL BARRIER (HEDGE) AT LEAST 3 FEET IN ______

PROPOSED:

REQUIRED PARKING LOT INTERIOR LANDSCAPE AREAS MUST INCLUDE AT LEAST ONE LARGE TREE PER 20 PARKING SPACES.

4 LARGES TREES

KEYNOTES:

PROPOSED LANDSCAPE BED

BENCHMARK:

BURY BOLT ON HYDRANT,

STREET AND JORDAN STREET. ELEVATION = 625.09

:625.09

UTILITY DISCLAIMER:

☐ INV(SW)617.47

ELEVATIONS ARE REFERENCED TO NAVD 88 BENCHMARK #1 BURY BOLT ON HYDRANT, LOCATED ON THE SOUTH SIDE OF MERRILL STREET, APPROXIMATELY 430 FEET SOUTHEAST OF THE INTERSECTION OF MERRILL STREET, SOUTH ONTARIO STREET AND JORDAN STREET. ELEVATION = 632.98

LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF MERRILL STREET, SOUTH ONTARIO

CONCRETE

VERY APPROXIMATE LOCATION OF 8' WIDE -ELECTRIC EASEMENT PER SCALED PDF OF DOC. NO. 664154, SAID DOCUMENT ONLY THE SHOWS GRAPHICAL LOCATION ON AN

EXHIBIT MAP, NO DIMENSIONS. THERE IS ALSO AN APPARENT ELECTRIC LINE COMING FROM POWER POLE NO. 9607 TO THE TRANSFORMER BY THE BUILDING THAT WAS NOT MARKED BY DIGGERS HOTLINE.

CONCRETE /

-PLAY EQUIPMENT ^{_}

GARDEN

COMPOST BIN ---

GENERATOR-CONCRETE -

ELEV OUTSIDE DOOR 629.59

CONCRETE

OVERHANG -

SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE

AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOW HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION

MERRILL STREET

CONCRE

OVERHANG

---OVERHANG

CONCRETE

INV(NW)618.77

ELEV=632.98

BENCH —

BENCH —

---PLAY EQUIPMENT

VERTICAL CAPPED CORRUGATED

BENCH —

-PLAY EQUIPMENT

E CONCRETE

SNOW STORAGE

PLASTIC PIPE

OVERHANG

-OVERHANG

-OVERHANG

12"ST 12"

CONCRETE

ELEV OUTSIDE DOOR 629.62

CONCRETE —

ELEV OUTSIDE DOOR 629.63

-OVERHANG

(DOOR 633.00)

(ELEV OUTSIDE)

DOOR 632.95

	TIIVG SCIIDDODD.				
TREES SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUAN
GD	GYMNOCLADUS DIOICUS 'ESPRESSO'	ESPRESSO KENTUCKY COFFEE	2" CAL.	50'TX35'W	4
SHRUBS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTI
BG .IP	BUXUS X 'GLENCOE'	CHICAGOLAND GREEN BOXWOOD	5 GAL	3'TX3'W 3'TX5'W	40 12

LANDSCAPE REQUIREMENTS:

"PARKING LOT SCREENING" REQUIREMENT:

SCREENING MUST BE PROVIDED TO VISUALLY SCREEN THE PARKING LOT FROM THE

A CONTINUOUS SHRUB HEDGE, CONSISTING OF 72 SHRUBS

"PARKING LOT INTERIOR LANDSCAPING" REQUIREMENT:

82 PARKING SPACES * 1 LARGE TREE PER 20 SPACES = 4 LARGE TREES REQUIRED

LEGEND: