



Planning/Zoning Application

Planning & Zoning Department

Submitted On:

Apr 15, 2025, 09:57AM EDT

Parcel Number: (Include ALL parcels)	ED-321, ED-335, ED-1436-1
Nearest property address to the project site:	Street Address: 435 S Washington St City: De Pere State: W Zip: 54115
Check each project type that is being applied for:	Site Plan
Current De Pere Zoning Districts:	PI-1
Existing Site Land Uses:	Public & Civic
Proposed Site Land Uses:	Public & Civic
Does the project comply with the Comprehensive Plan?	Yes
Has City Staff been contacted for a preapplication meeting?	Yes
Property Owner:	First Name: Noah Last Name: Wentland
Is the property owner's address the same as the nearest property address?	Yes
Property Owner's Phone Number:	920-217-1765
Property Owner's Email Address:	nwentland@depere.k12.wi.us
Is someone processing the project for the property owner as their authorized representative?	Yes
Authorized Representative's Name:	First Name: Jesse Last Name: Becker
Authorized Representative's Business Name:	Point of Beginning
Authorized Representative's Phone Number:	7153449999
Authorized Representative's Email Address:	jesseb@pobinc.com

Please attach a PDF copy of the site plan.		Dickinson ES Site Plans.pdf
Would you like a basic checklist of information to include in the site plan?		No
How do you plan on paying for your application?		Online with a credit card
Total Due:		\$350.00
Signature Data	First Name: Jesse Last Name: Becker Email Address: jesseb@pobinc.com	
		
		Signed at: April 15, 2025 9:42am America/New_York
User's Session Information		IP Address: 128.92.122.106 Referrer URL:

DICKINSON ELEMENTARY SCHOOL SITE IMPROVEMENTS

UNIFIED SCHOOL DISTRICT OF DE PERE

CONTACT INFORMATION

BIDDING QUESTIONS:
MARC MCGUIRE
C.D. SMITH CONSTRUCTION
MMCGUIRE@CDSMITH.COM
P.O. BOX 1006
FOND DU LAC, WI 54936

CONSTRUCTION MANAGER:
MARC MCGUIRE
C.D. SMITH CONSTRUCTION
P.O. BOX 1006
FOND DU LAC, WI 54936

CIVIL ENGINEER:
JESSE BECKER, P.E.
POINT OF BEGINNING, INC.
4941 KIRSCHLING COURT
STEVENS POINT WI, 54481
715-344-9999

OWNER & DEVELOPER:
UNIFIED SCHOOL DISTRICT OF DE PERE
1700 CHICAGO ST.
DE PERE WI, 54115
920-337-1032

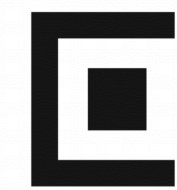


GENERAL PROJECT INFORMATION

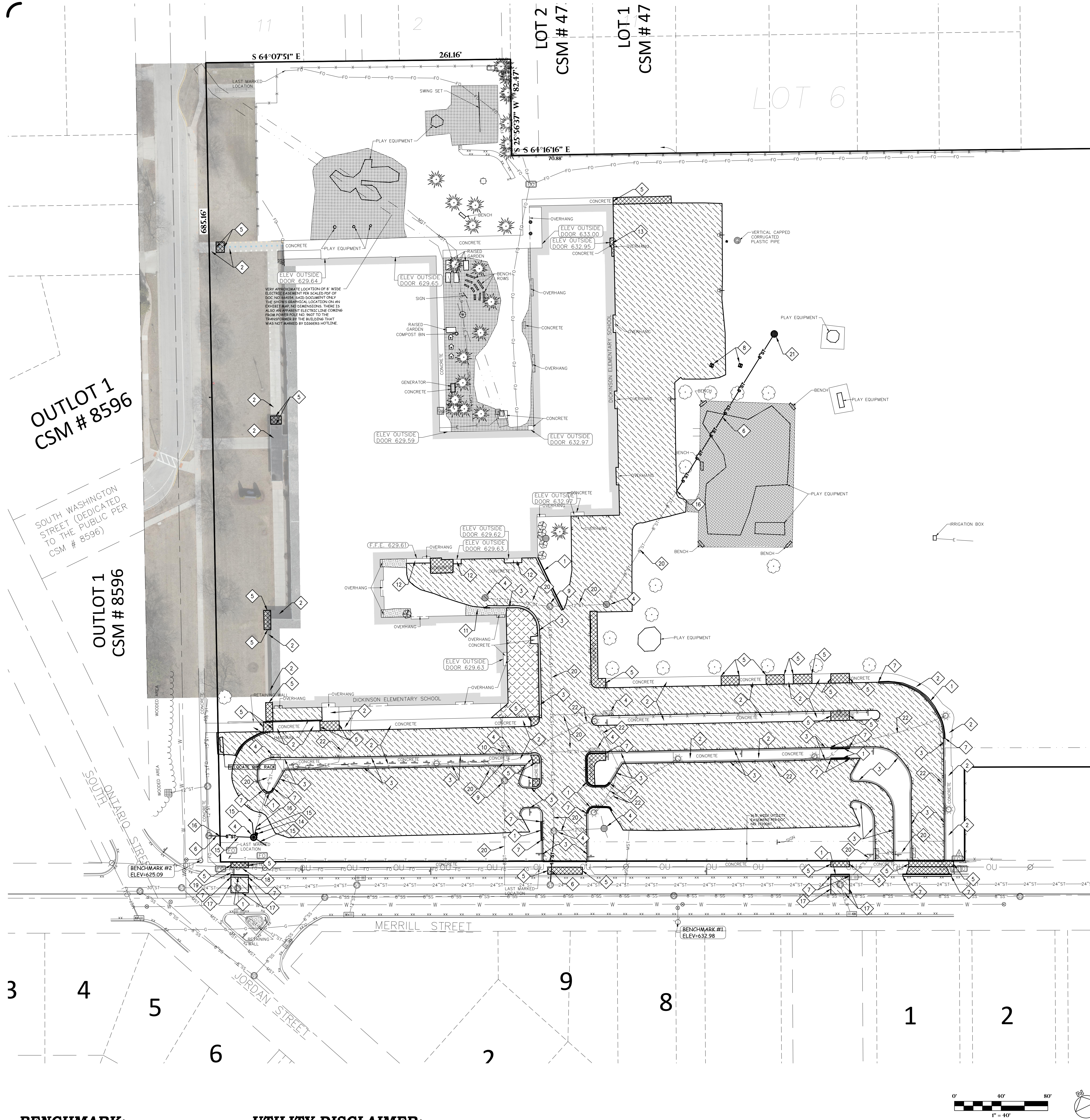
PLSS: NE 1/4 OF THE NE 1/4 OF T23N, R20E, S27
ADDRESS: 435 S WASHINGTON ST, DE PERE, WI 54115

CIVIL SHEET INDEX:

- C0.0 TITLE SHEET
- C1.0 DEMOLITION PLAN
- C2.0 LAYOUT PLAN
- C3.0 GRADING PLAN
- C4.0 EROSION CONTROL PLAN
- C5.0 UTILITY PLAN
- C6.0 DETAILS
- C6.1 DETAILS
- L1.0 LANDSCAPE PLAN



Revision	Description	Date



BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1
BURY BOLT ON HYDRANT,
LOCATED ON THE SOUTH SIDE OF MERRILL STREET,
APPROXIMATELY 450 FEET SOUTHEAST OF THE
INTERSECTION OF MERRILL STREET, SOUTH ONTARIO
STREET AND JORDAN STREET.
ELEVATION = 632.98

BENCHMARK #2
BURY BOLT ON HYDRANT,
LOCATED AT THE NORTHEAST QUADRANT OF THE
INTERSECTION OF MERRILL STREET, SOUTH ONTARIO
STREET AND JORDAN STREET.
ELEVATION = 625.09

UTILITY DISCLAIMER:

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOWN HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

GENERAL NOTES:

1. CONTRACTOR SHALL LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO COMMENCEMENT OF WORK.
2. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
3. INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION, IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
4. BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
5. ANY EXISTING PUBLIC & PRIVATE UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
6. COORDINATE ALL PRIVATE & PUBLIC UTILITY REMOVAL, DISCONNECTION, &/OR RECONNECTION WITH RESPECTIVE UTILITY COMPANIES PRIOR TO BEGINNING WORK.
7. COORDINATE UTILITY SERVICE DISCONNECTIONS/OUTAGES WITH OWNER AND ANY IMPACTED NEIGHBORS. MINIMIZE DISRUPTIONS TO THE MAXIMUM EXTENT PRACTICAL.
8. ANY EXISTING UTILITIES NOT EXPRESSLY LABELED FOR DEMOLITION/REMOVAL ON THIS DOCUMENT SHALL BE LEFT IN PLACE AND IN THEIR CURRENT STATE OF OPERATION. CONTACT ENGINEER WHEREVER CLARIFICATION IS NEEDED.
9. STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
10. IF STRIPPED TOPSOIL IS STOCKPILED ON SITE, SILT FENCE SHALL BE INSTALLED AROUND THE BASE OF THE STOCKPILE TO PREVENT SEDIMENT TRANSPORT.
11. CITY OF DE PERE WILL PERFORM ALL WORK WITHIN PUBLIC RIGHT OF WAYS. COORDINATE THIS WORK WITH CITY OF DE PERE PUBLIC WORKS.
12. MAINTAIN TRAFFIC CIRCULATION TO ALL NEIGHBORING PROPERTIES SHOWN ON THIS DOCUMENT. COORDINATE ALL WORK WITH NEIGHBORING PROPERTY OWNERS.

KEYNOTES:

1. REMOVE CONCRETE CURB & GUTTER
2. MAINTAIN CONCRETE SIDEWALK
3. MAINTAIN CONCRETE CURB & GUTTER
4. MAINTAIN STORM INLET
5. SAWCUT CONCRETE SIDEWALK
6. FILL STORM SEWER WITH CONCRETE SLURRY & ABANDON IN PLACE
7. SAWCUT CONCRETE CURB & GUTTER
8. REMOVE TETHERBALL POST
9. MAINTAIN STORM MANHOLE
10. DISCONNECT & PLUG STORM INLET OUTLET PIPE TO THE ADJACENT STORM SEWER. INSTALL NEW OUTLET PIPE AS INDICATED ON UTILITY PLAN, SHEET C5.0.
11. REMOVE EXISTING LANDSCAPE AREA
12. MAINTAIN CONCRETE BLDG STOOP
13. REMOVE CONCRETE PAVEMENT
14. REMOVE BOLLARD
15. REMOVE STORM SEWER
16. SAWCUT STORM SEWER
17. SAWCUT ASPHALT PAVEMENT
18. MAINTAIN FIBER LINE
19. REMOVE EX. SIGN AND REINSTALL FOLLOWING UTILITY INSTALLATION (SEE UTILITY PLAN)
20. MAINTAIN STORM SEWER
21. REMOVE STORM INLET
22. MAINTAIN ELECTRICAL LINE

DEMOLITION HATCH PATTERNS:

- REMOVE ASPHALT PAVEMENT & UNDERLYING GRAVEL
- REMOVE CONCRETE & UNDERLYING GRAVEL
- BASE BID; NO WORK
ALTERNATE BID (C): REMOVE ASPHALT PAVEMENT & UNDERLYING GRAVEL

1. REMOVE AND REPLACE 18" CURB & GUTTER IN KIND

2. REMOVE AND REPLACE CONCRETE SIDEWALK PANEL(S) IN KIND

3. BASKETBALL HOOP (INSTALL RM 8' ABOVE PROPOSED GRADE; SEE SHEET C3.0)

4. PAVED PLAY STRIPING - BASKETBALL (WHITE)

5. TETHERBALL POLE

6. PAVED PLAY STRIPING - TETHERBALL (WHITE)

7. CONCRETE PAVEMENT

8. 18"W STOP BAR STRIPING

9. DIRECTIONAL ARROW STRIPING

10. PARKING LOT STRIPING

11. CROSSWALK STRIPING

12. INSTALL 45 L.F. OF 6" PVC EMPTY CONDUIT FOR COMPACTOR CABLES (DAYLIGHT TO PROPOSED GRADE)

13. RELOCATE COMPACTOR

14. RELOCATE DUMPSTER

15. 24" CURB & GUTTER (REJECT)

16. REMOVE AND REPLACE CONCRETE SIDEWALK PANEL AND INSTALL NEW DETECTABLE WARNING PLATE

17. ADA PARKING STALL

18. PAVED PLAY STRIPING - 4 SQUARE (7' SQUARES; WHITE)

19. PAVED PLAY STRIPING - HOPSCOTCH (2' SQUARES; WHITE)

20. REINSTALL SALVAGED BIKE RACK

21. REPLACE SIDEWALK IN KIND FOLLOWING UTILITY INSTALLATION (SEE C5.0 UTILITY PLAN)

22. REPLACE 24" CURB & GUTTER IN KIND FOLLOWING UTILITY INSTALLATION (SEE C5.0 UTILITY PLAN)

23. REMOVE AND REPLACE CONCRETE PAVEMENT PANEL(S) IN KIND

24. REMOVE AND REPLACE 24" DRIVEWAY CONCRETE CURB & GUTTER IN KIND

25. REPLACE 18" CURB & GUTTER IN KIND FOLLOWING UTILITY INSTALLATION (SEE C5.0 UTILITY PLAN)

26. RELOCATE DUMPSTER

5
CE.0

3
CE.0

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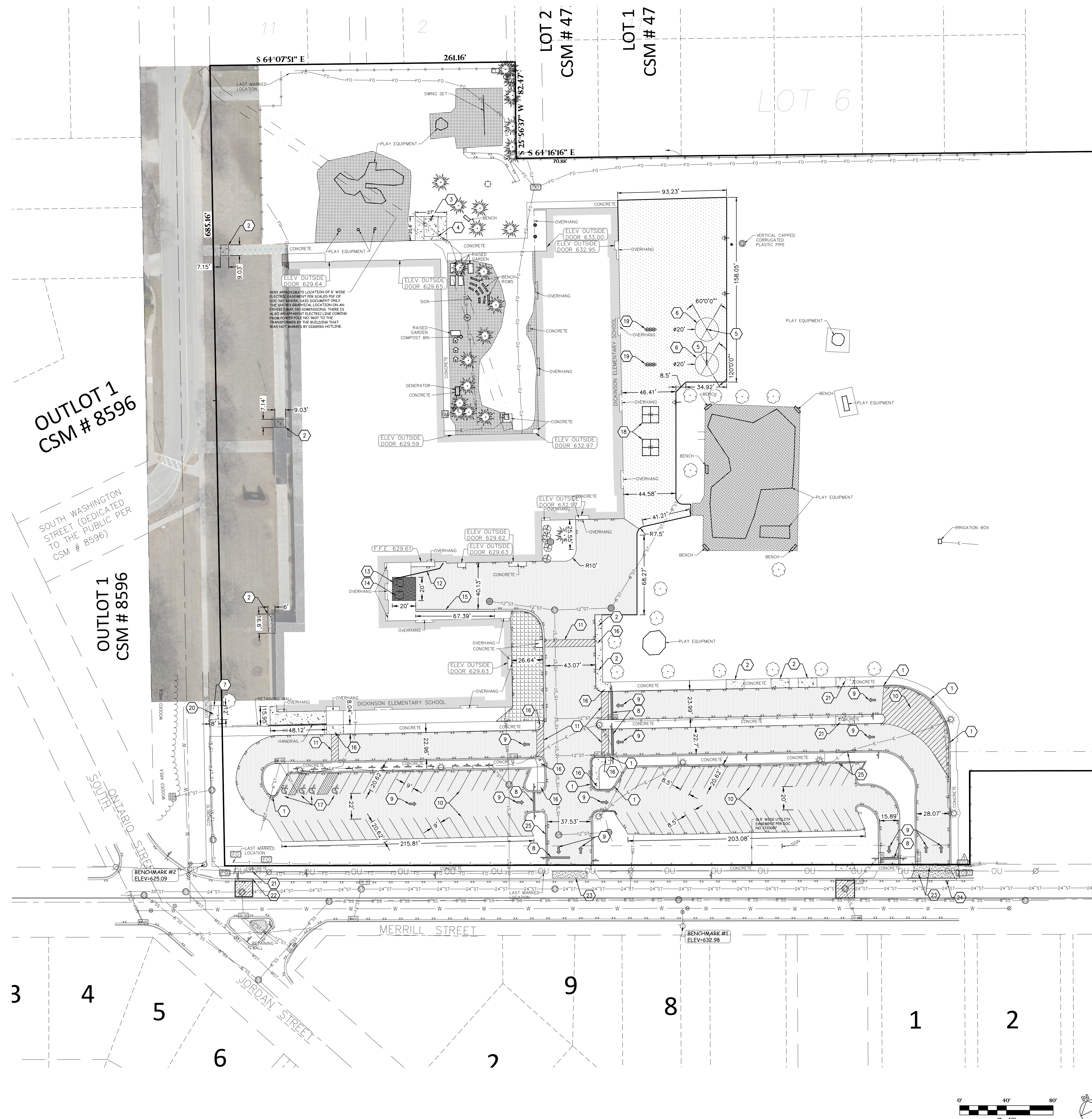
9
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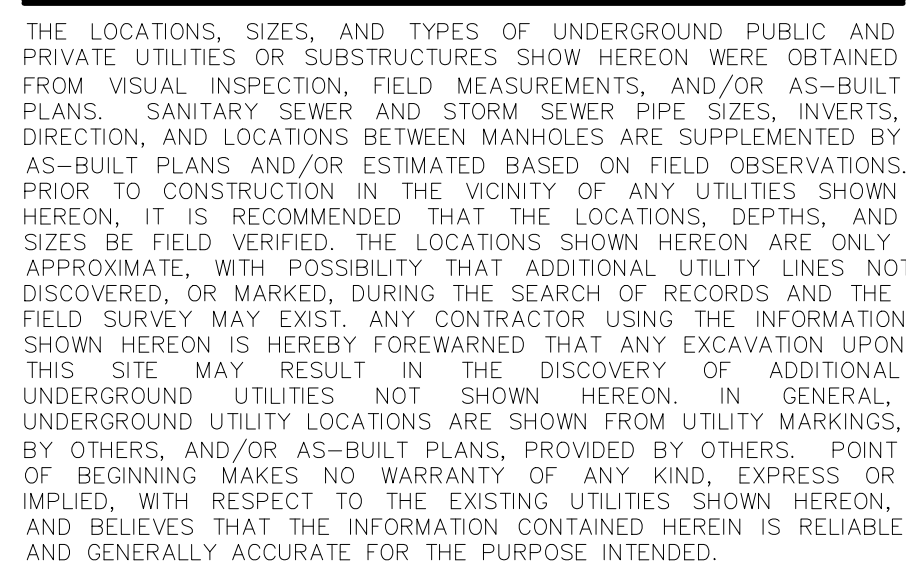
6
CE.0

3
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[illegible]



1. INSTALL PERIMETER EROSION CONTROL.
2. BEGIN DEMOLITION
3. BEGIN ROUGH GRADING AND UTILITY INSTALLATION
4. DURING GRADING ACTIVITIES EXISTING GRASS AND VEGETATION, TO BE REMOVED, SHALL REMAIN IN PLACE FOR AS LONG AS POSSIBLE, TO AVOID SEDIMENT TRANSPORT.
5. TEMPORARY STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 90 CALENDAR DAYS.
6. FINAL STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING ACTIVITIES CEASE AND FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE.
7. DISTURBED AREAS MUST BE LEFT OVER WINTER, AN ANONIC POLYETHYLENE SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO GROUND FREEZE. SEE SPECIFICATIONS FOR DETAILS.



GENERAL NOTES:

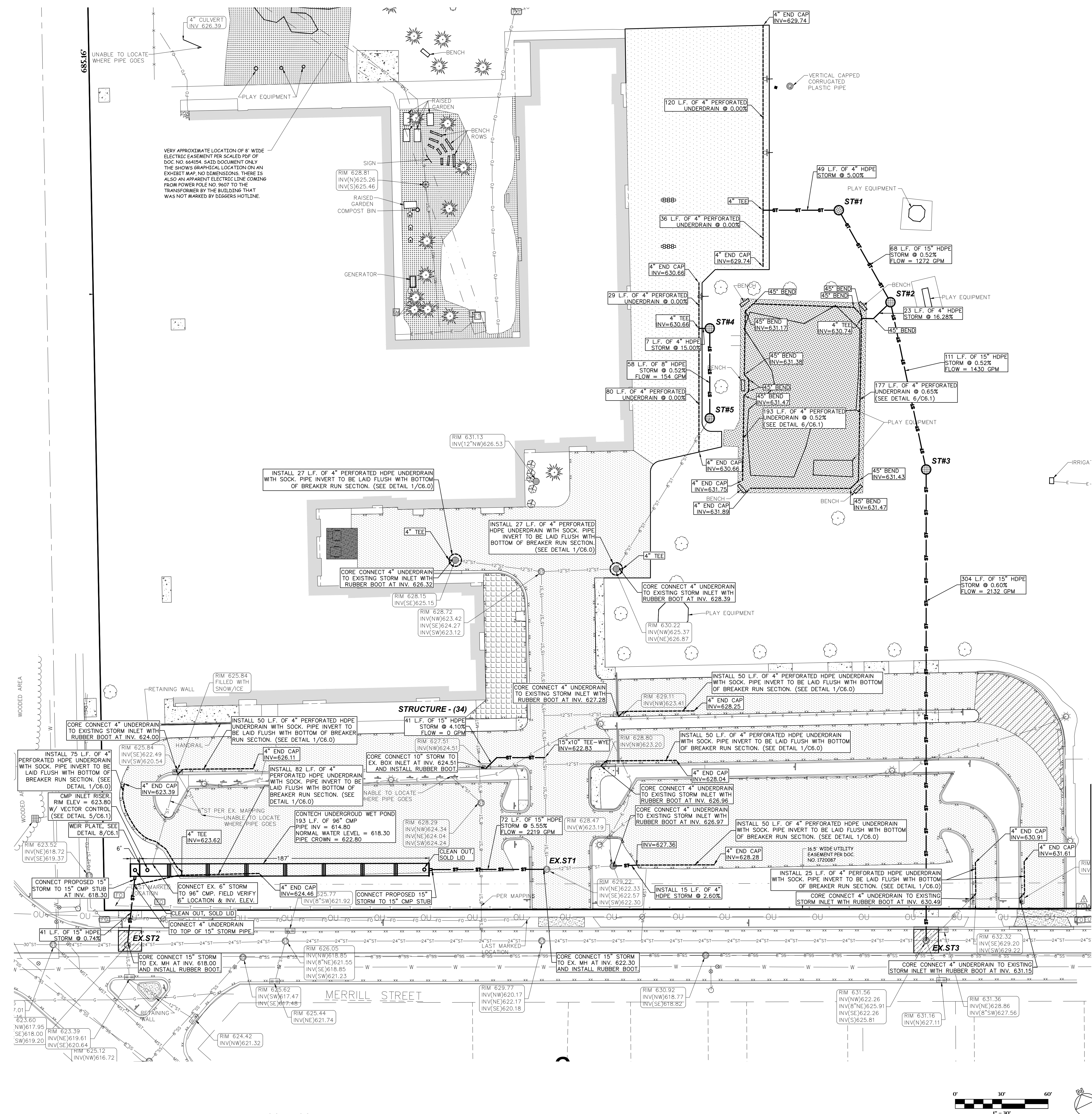
- CONTRACTOR SHALL LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO COMMENCEMENT OF WORK.
- GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
- COORDINATE ALL UTILITY WORK WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
- COORDINATE UTILITY SERVICE DISCONNECTIONS/OUTAGES WITH OWNER AND ANY IMPACTED NEIGHBORS. MINIMIZE DISRUPTIONS TO THE MAXIMUM EXTENT PRACTICAL.
- COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY WITH THE LOCAL MUNICIPALITY.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY, AND PRIOR TO CONNECTING LATERALS TO THE PUBLIC MAINS.
- THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING.
- THE MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES, IF NEEDED.

UTILITY LEGEND:



STORM MANHOLE SCHEDULE:

STRUCTURE #	STRUCTURE DETAILS
ST#1	RIM = 629.40 INV (NW) = 627.29 INV (S) = 626.02 DEPTH = 3.38' 48" I.D. PRECAST MANHOLE W/ NEENAH R-2560-EA CASTING W/ BEEHIVE GRATE
ST#2	RIM = 630.10 INV (N) = 625.66 INV (W) = 627.00 INV (S) = 626.66 DEPTH = 4.44' 48" I.D. PRECAST MANHOLE W/ NEENAH R-2560-EA CASTING W/ BEEHIVE GRATE
ST#3	RIM = 630.10 INV (N) = 625.09 INV (SW) = 625.09 DEPTH = 5.01' 48" I.D. PRECAST MANHOLE W/ NEENAH R-2560-EA CASTING W/ BEEHIVE GRATE
ST#4	RIM = 631.57 INV (NW) = 629.61 INV (SW) = 628.13 DEPTH = 3.43' 48" I.D. PRECAST MANHOLE W/ NEENAH R-2560-EA CASTING W/ BEEHIVE GRATE
ST#5	RIM = 632.47 INV (NE) = 627.83 INV (SW) = 627.83 DEPTH = 4.64' 48" I.D. PRECAST MANHOLE W/ NEENAH R-2560-EA CASTING W/ BEEHIVE GRATE



BENCHMARK:

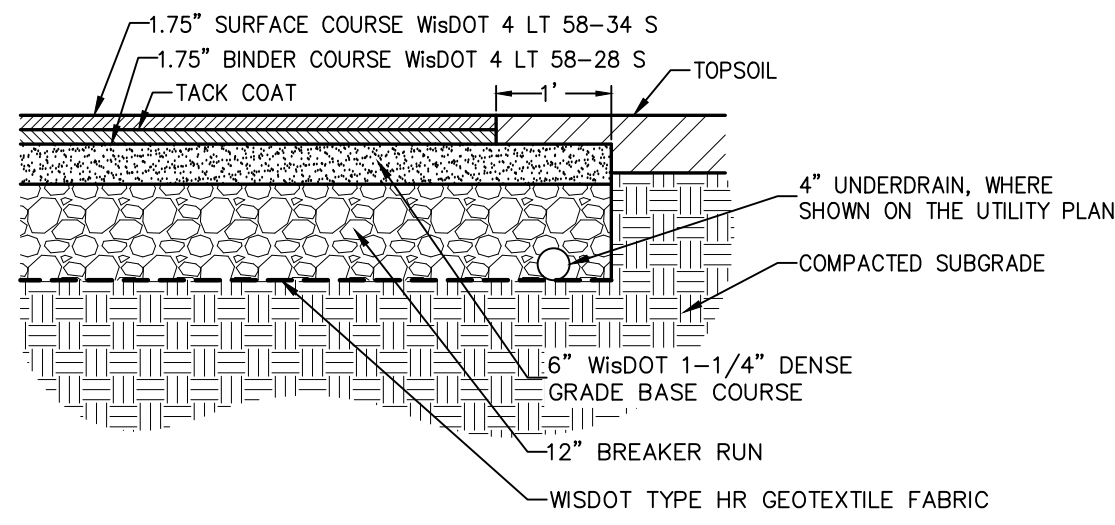
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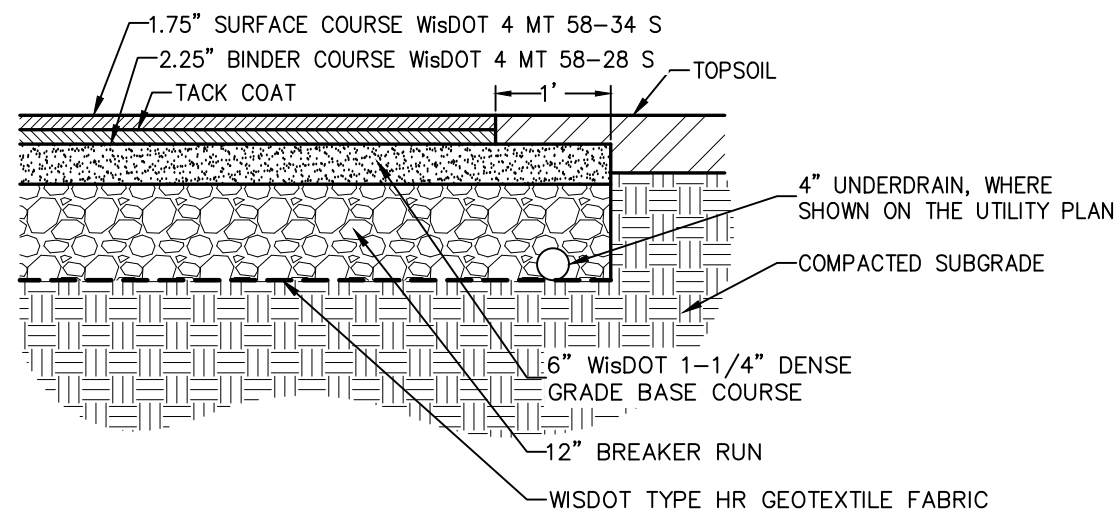
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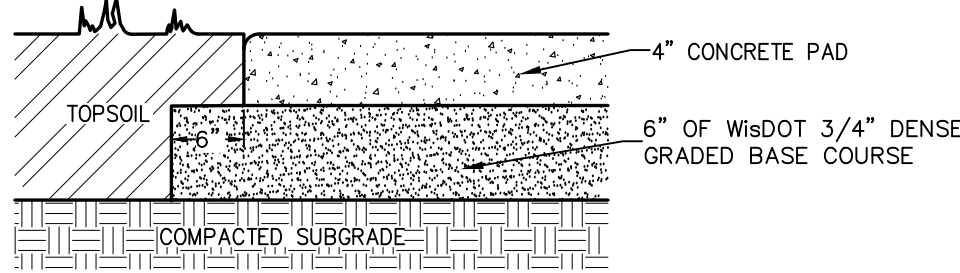
PLAYGROUND ASPHALT

1
C6.0



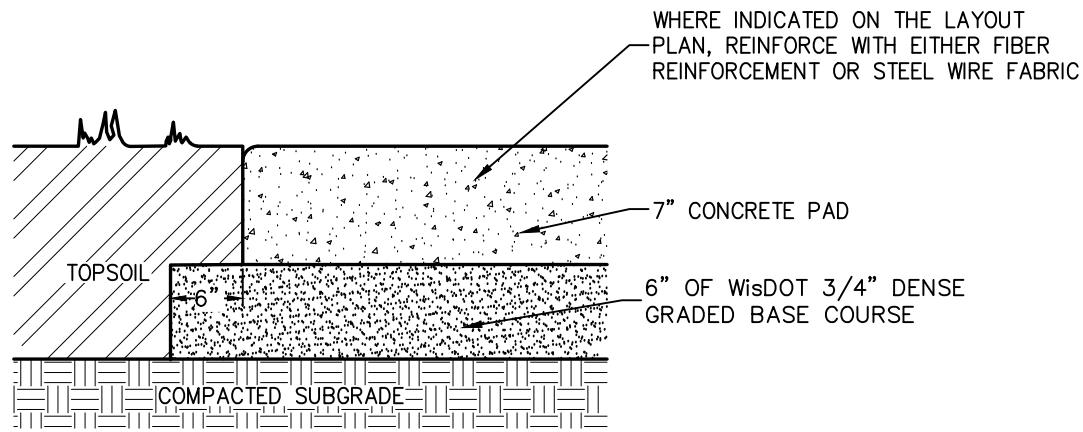
ASPHALT PAVEMENT

2
C6.0



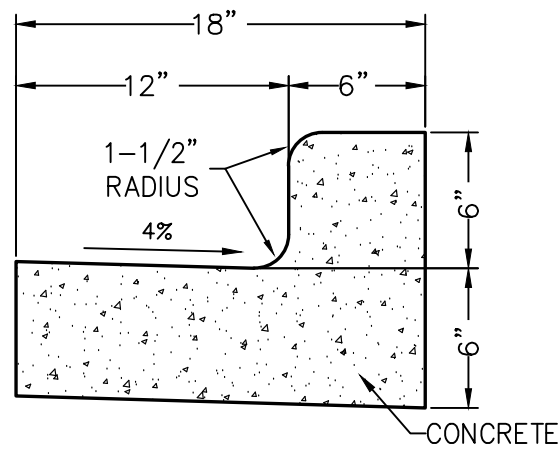
CONCRETE SIDEWALK

3
C6.0



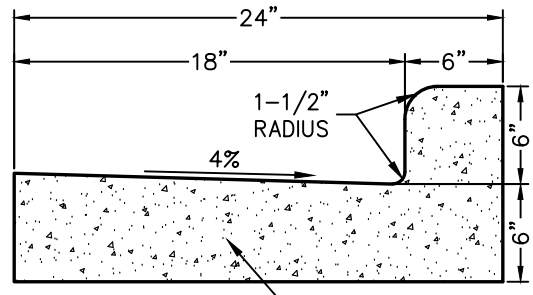
CONCRETE PAVEMENT

4
C6.0

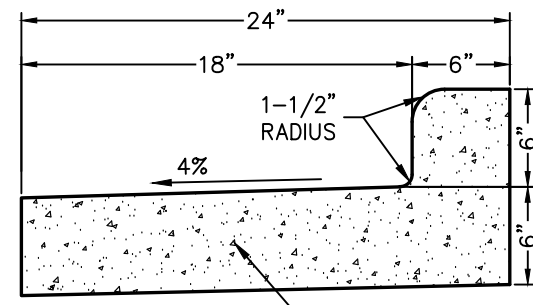


18" CONCRETE CURB & GUTTER

5
C6.0



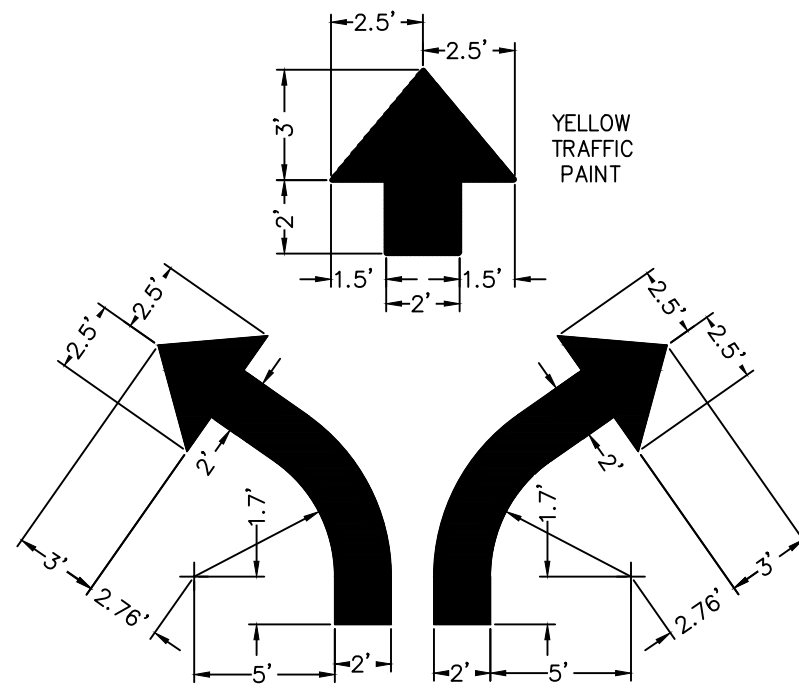
STANDARD GUTTER



REJECT GUTTER

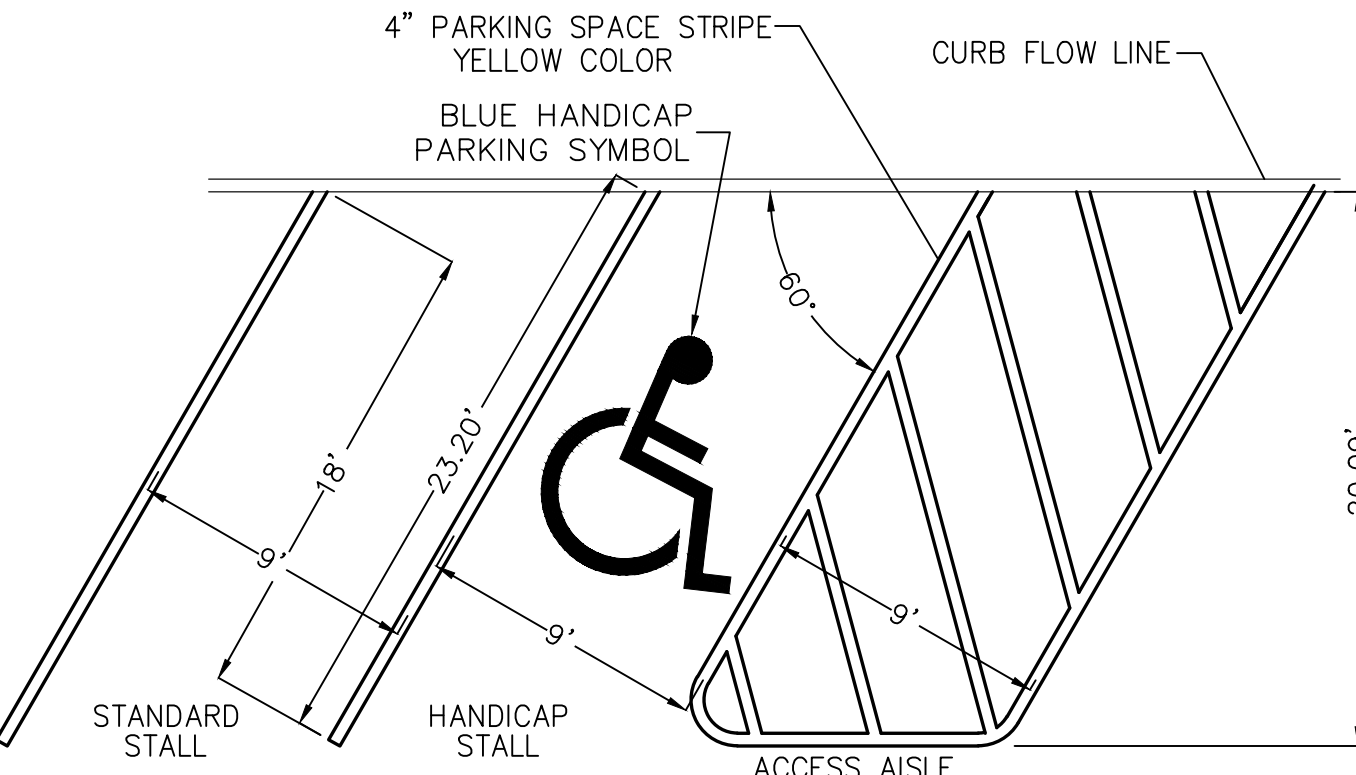
24" CONCRETE CURB & GUTTER

6
C6.0



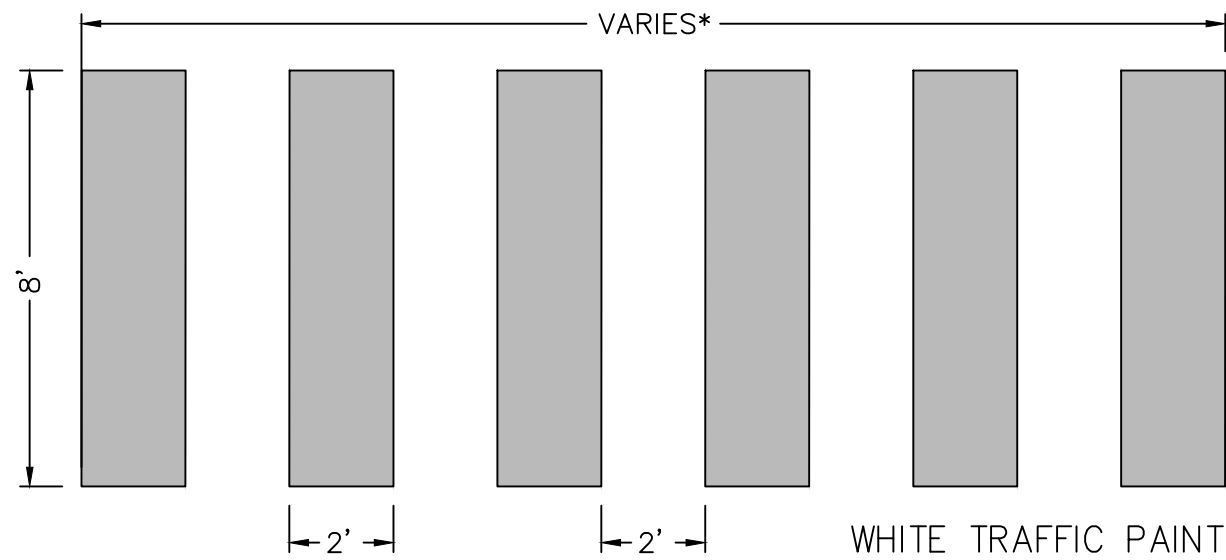
DIRECTIONAL ARROW STRIPING

7
C6.0



PARKING LOT STRIPING

8
C6.0



*CROSSWALK LENGTH VARIES BY LOCATION

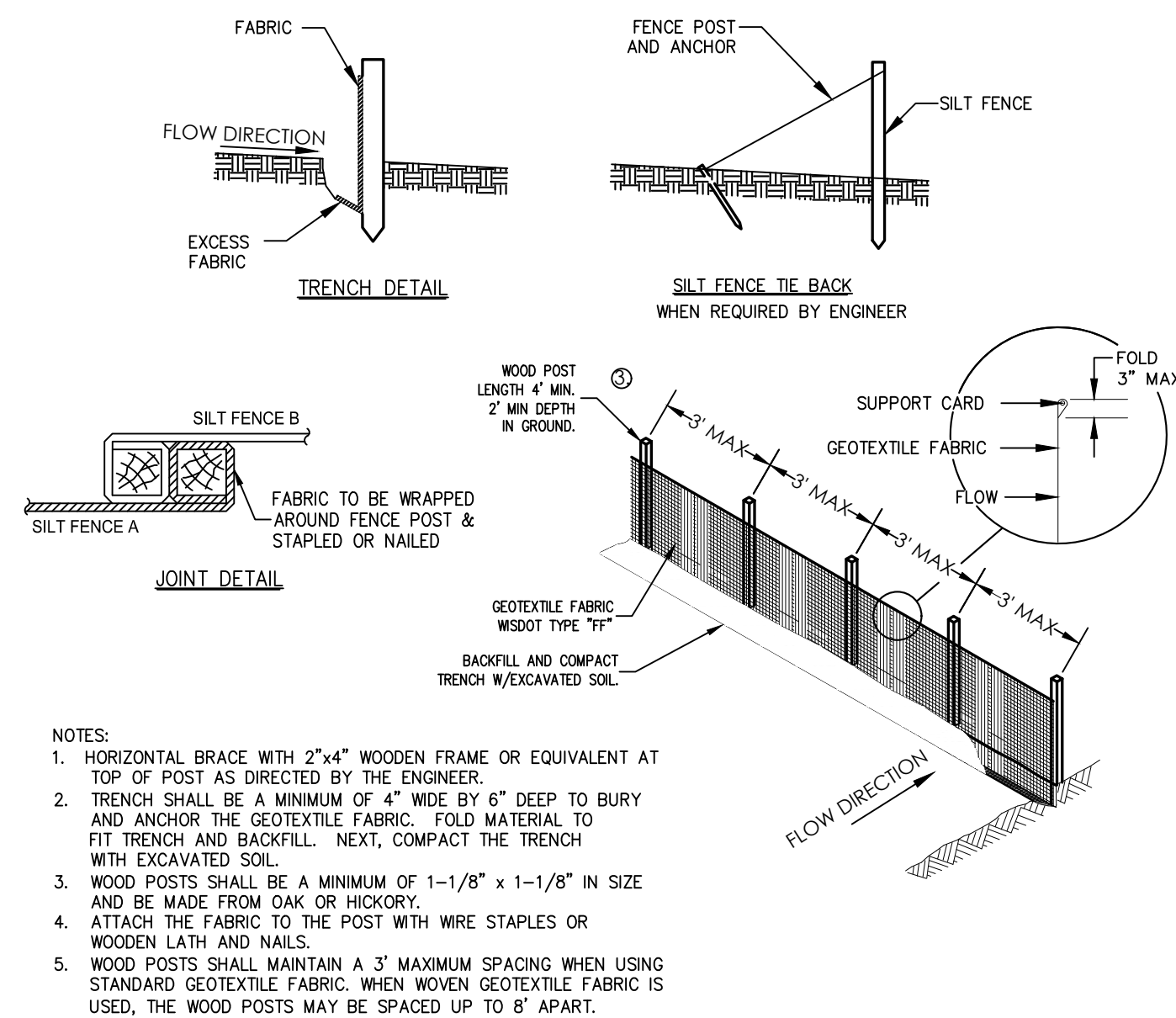
CROSSWALK STRIPING

9
C6.0

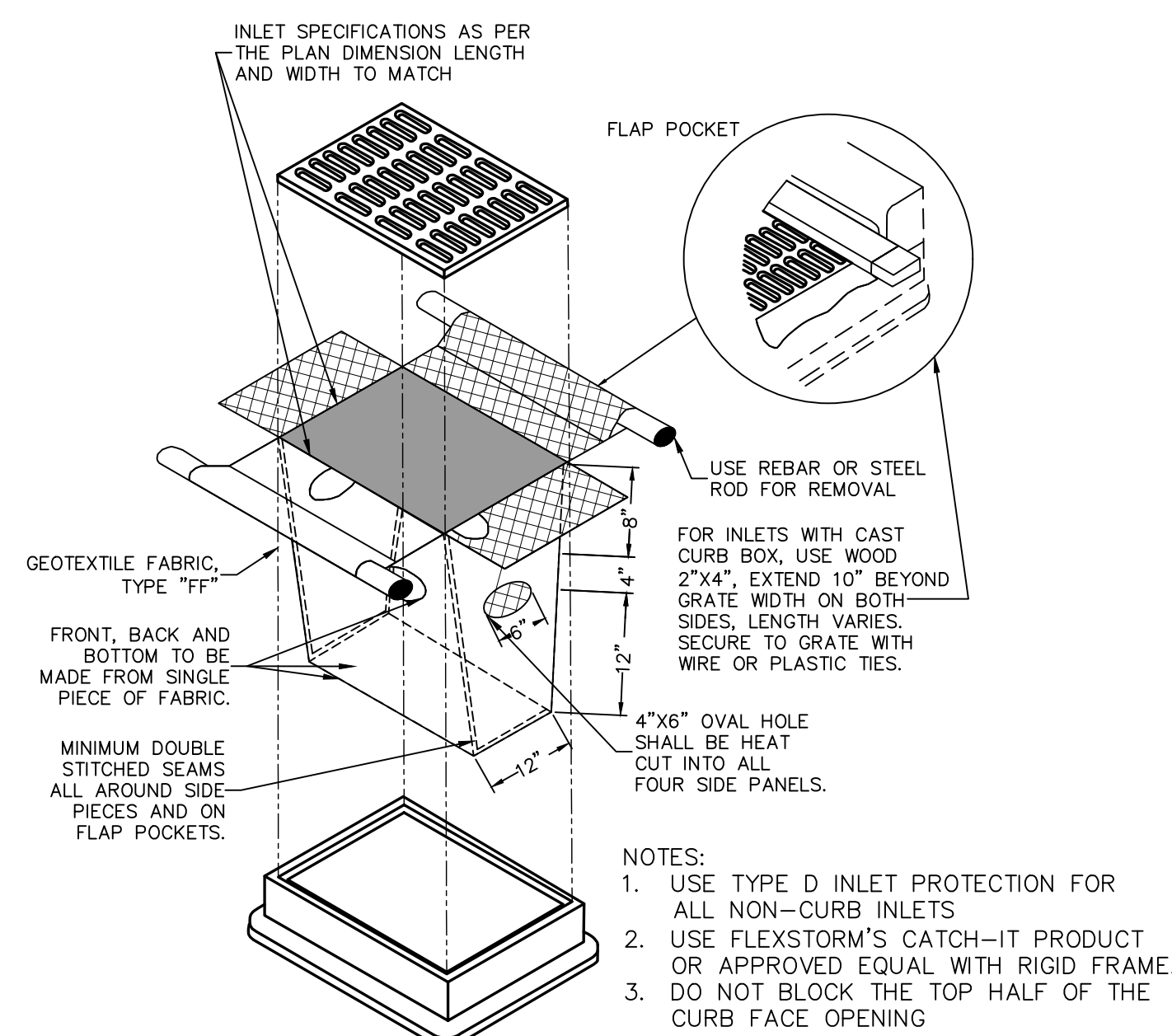
Revision	Description	Date

DETAILS

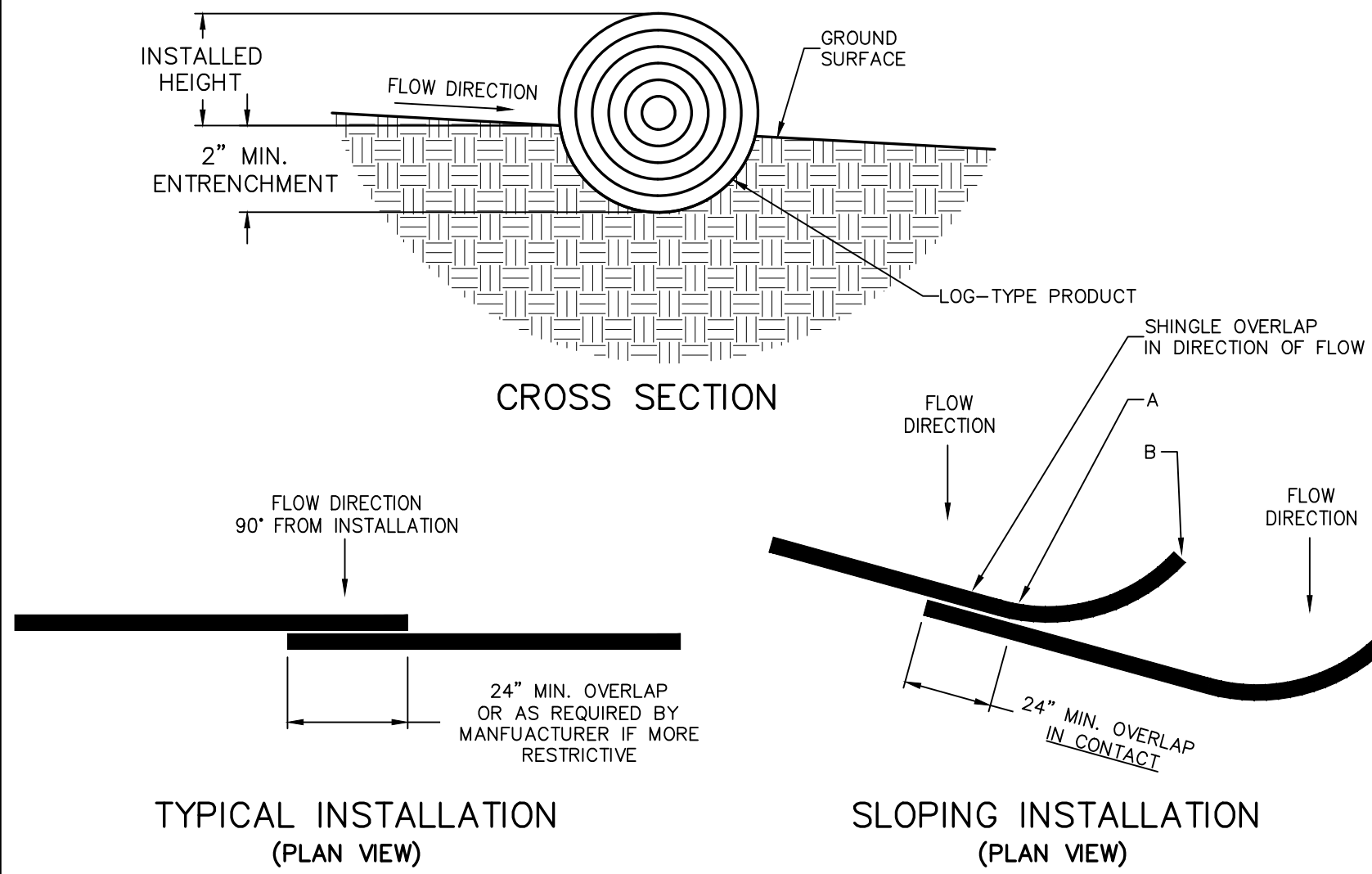
DICKINSON ELEMENTARY SCHOOL BUILDING AND SITE UPGRADES FOR:
UNIFIED SCHOOL DISTRICT OF DE PERE
DE PERE, WISCONSIN
This drawing was created by Somerville Inc. and is the property of Somerville Inc. It is to be used only for the project and location specified. No other use or reproduction is permitted without the written consent of Somerville Inc. © Somerville Inc. 2025



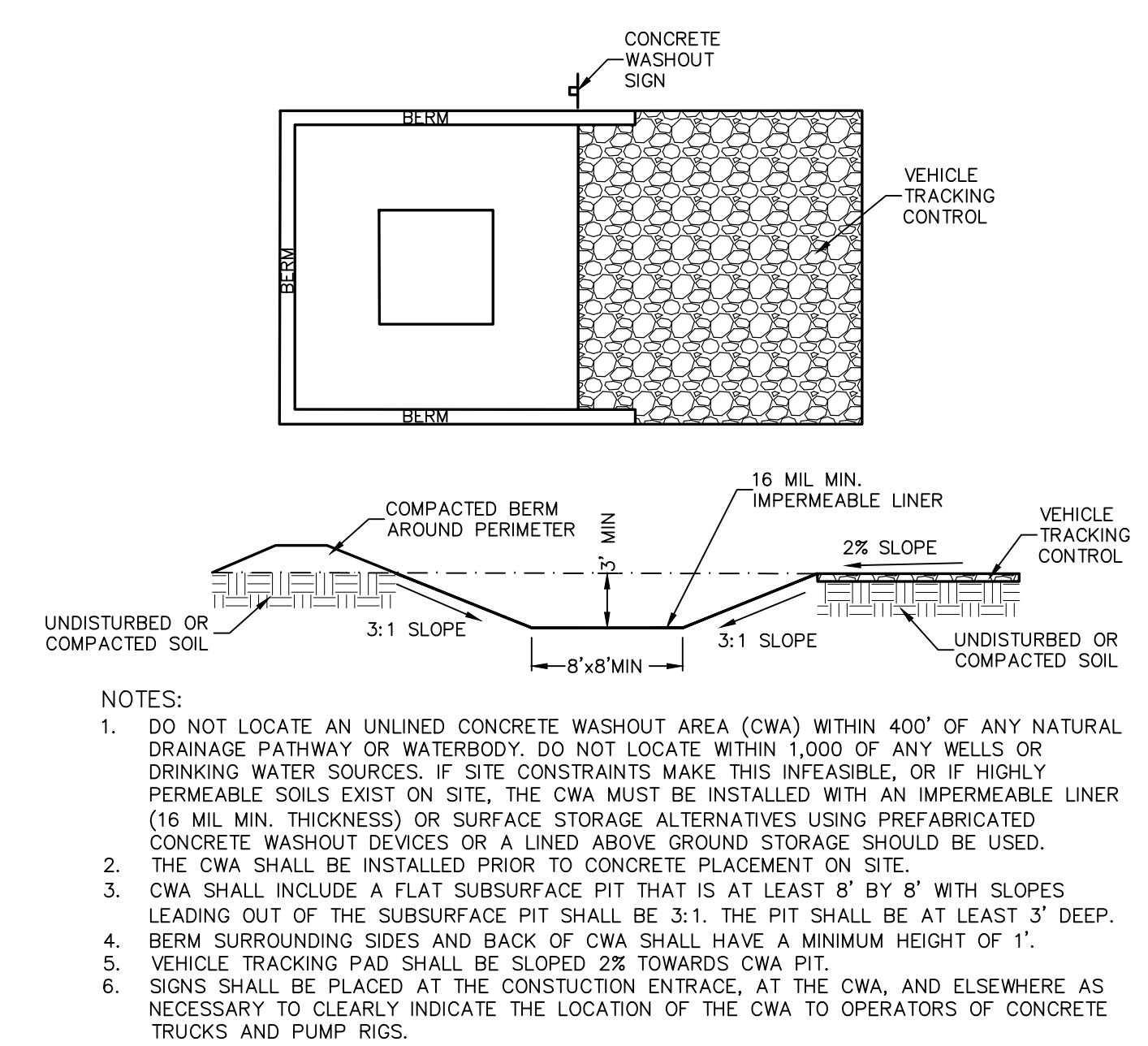
SILT FENCE



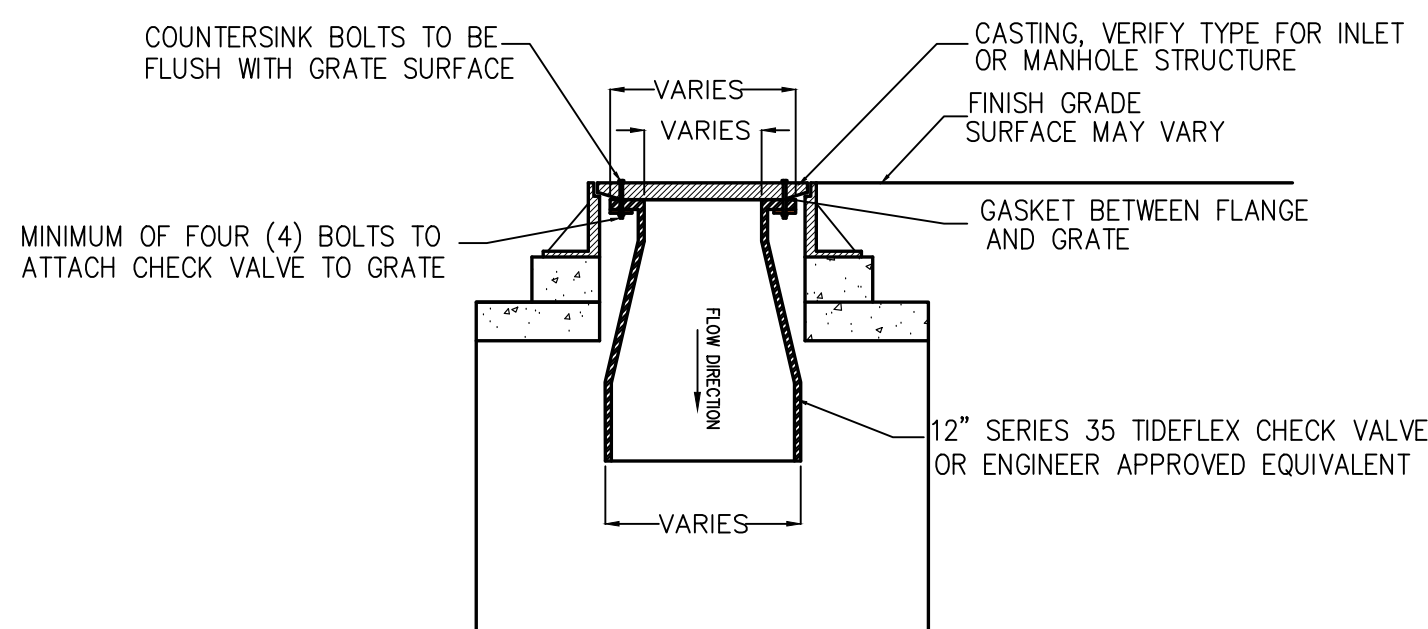
INLET PROTECTION



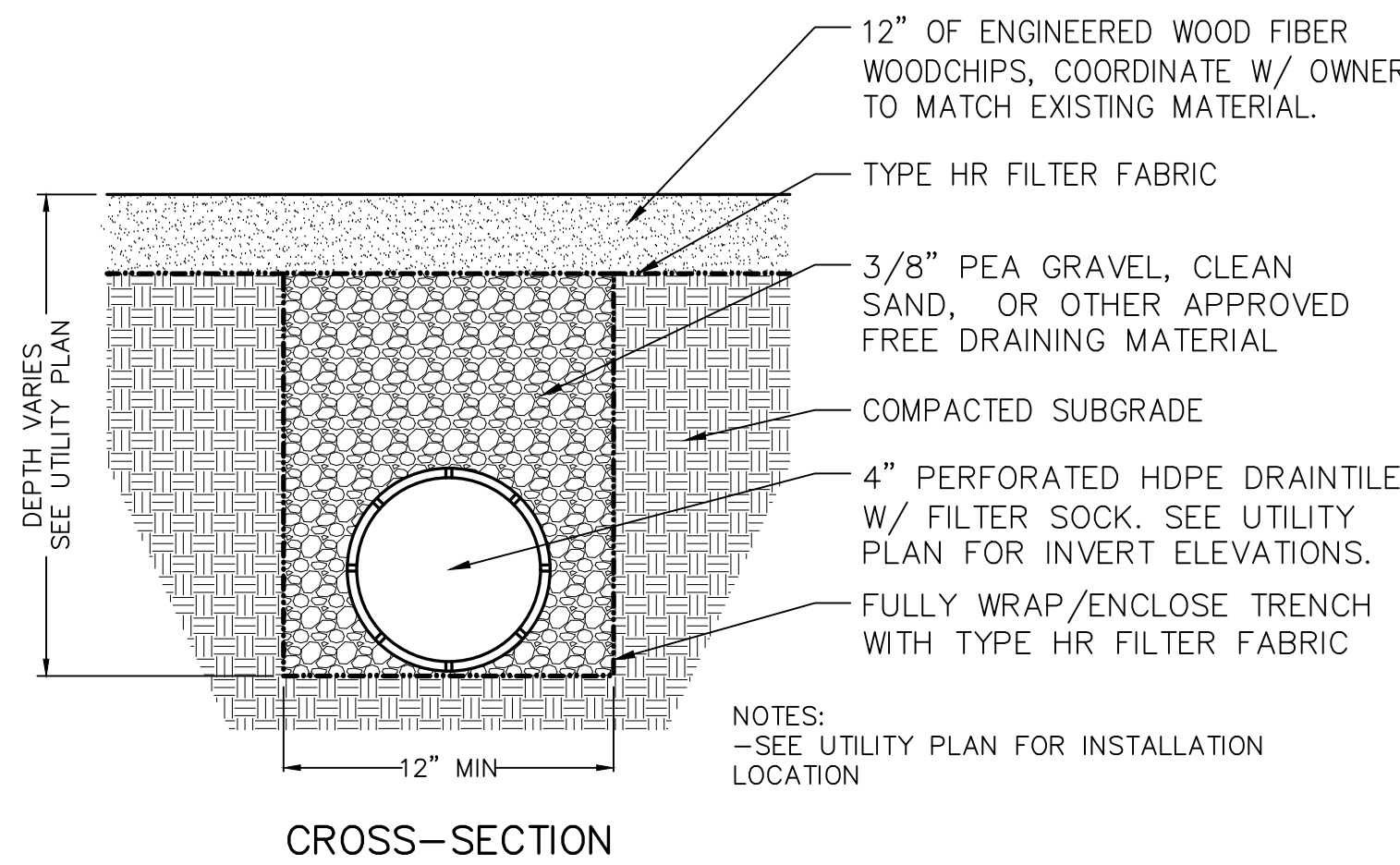
TEMPORARY DITCH CHECK



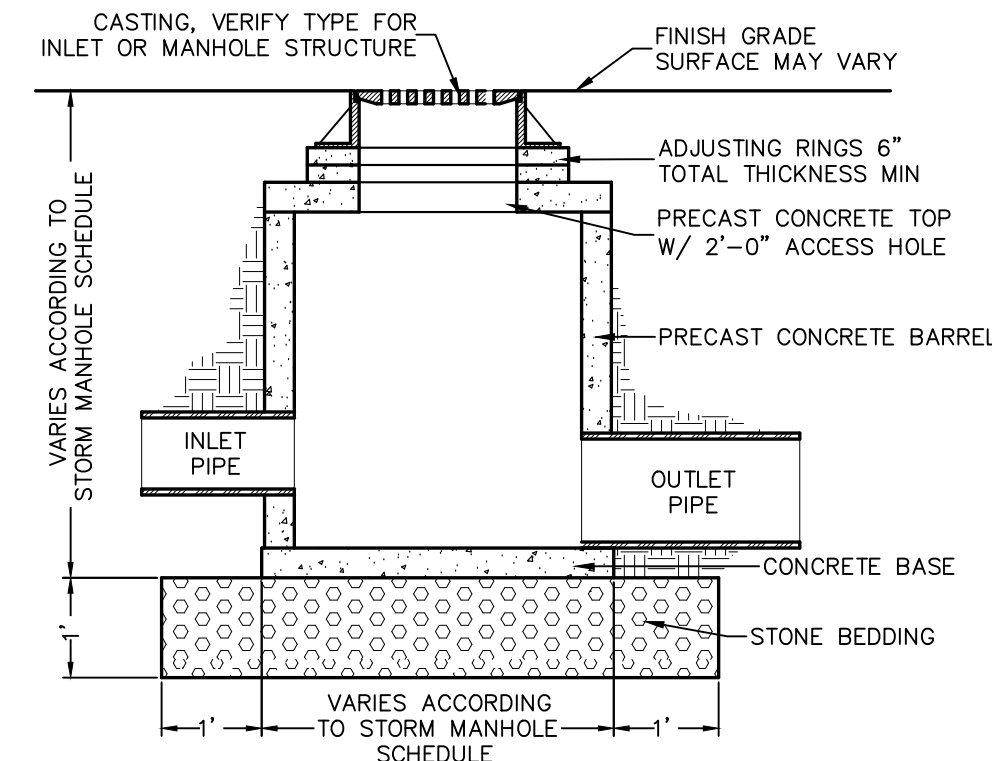
CONCRETE WASHOUT AREA



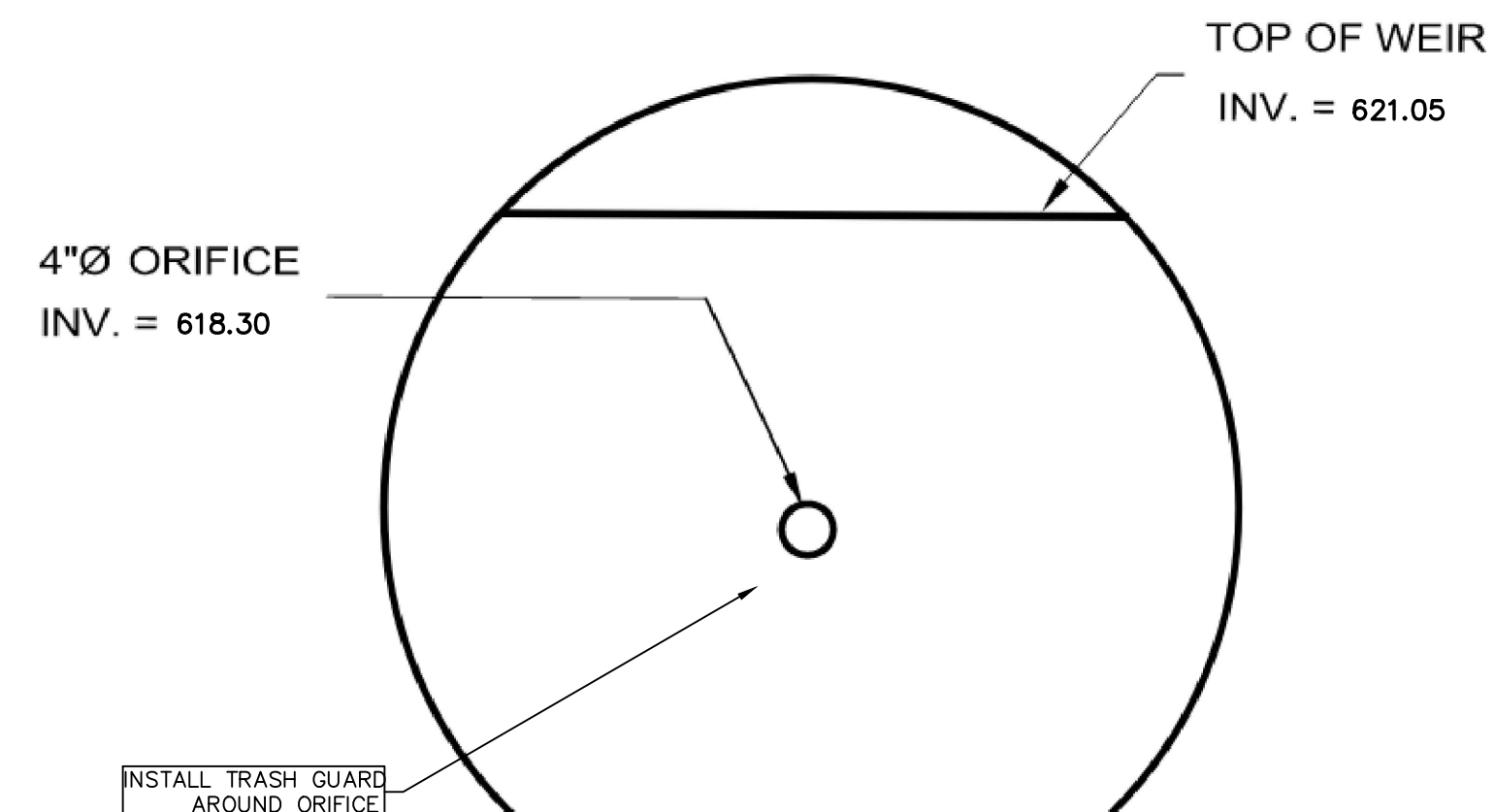
VECTOR CONTROL



PLAYGROUND UNDERDRAIN



STORM MANHOLE



CONTECH WEIR PLATE

