



Planning/Zoning Application

Planning & Zoning Department

Submitted On:

Apr 28, 2025, 12:45PM EDT

Parcel Number: (Include ALL parcels)	wd-84-3
Nearest property address to the project site:	Street Address: 805 Main Ave City: De pere State: W Zip: 54115
Check each project type that is being applied for:	Site Plan
Current De Pere Zoning Districts:	MX3
Existing Site Land Uses:	Commercial
Proposed Site Land Uses:	Commercial
Does the project comply with the Comprehensive Plan?	Yes
Has City Staff been contacted for a preapplication meeting?	No
Property Owner:	First Name: Jordan Last Name: Mortenson
Is the property owner's address the same as the nearest property address?	No
Property Owner's Address:	Street Address: 1674 Eisenhower Rd Property Owner's Address:: Suite 200 RRMM Architects City: De Pere State: W Zip: 54115
Property Owner's Phone Number:	7154451018
Property Owner's Email Address:	jordan@parkplace-holdings.com
Is someone processing the project for the property owner as their authorized representative?	Yes
Authorized Representative's Name:	First Name: Donna Last Name: Elliott
Authorized Representative's	RRMM Architects

Business Name:		
Authorized Representative's Phone Number:		7576818451
Authorized Representative's Email Address:		delliott@rrmm.com
Please attach a PDF copy of the site plan.		DT Arch Site Plan 4-28-25.pdf Dollar Tree DePere WI.pdf
Would you like a basic checklist of information to include in the site plan?		Yes
How do you plan on paying for your application?		Online with a credit card
Total Due:		\$350.00
Signature Data	First Name: Donna Last Name: Elliott Email Address: delliott@rrmm.com	
	Signed at: April 28, 2025 12:44pm America/New_York	
User's Session Information		IP Address: 184.189.45.21 Referrer URL:

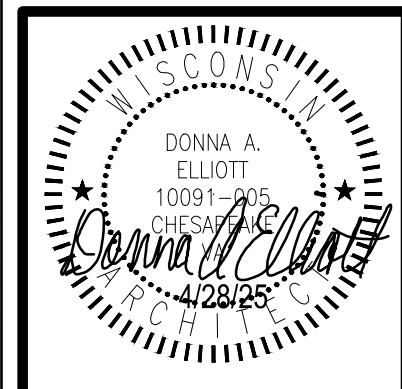
ZONING

MX3 COMMERCIAL CORRIDOR

PROPERTY OWNER
PARK PLACE HOLDINGS
1674 EISENHOWER RD
DE PERE, WI 54115
JORDAN MORTENSON, PROPERTY MANAGER
PHONE: (715) 445-1018

mark	date	by	description

date	04/28/2025
project	25106-44
designed	KLS
drawn	KLS
checked	DAE

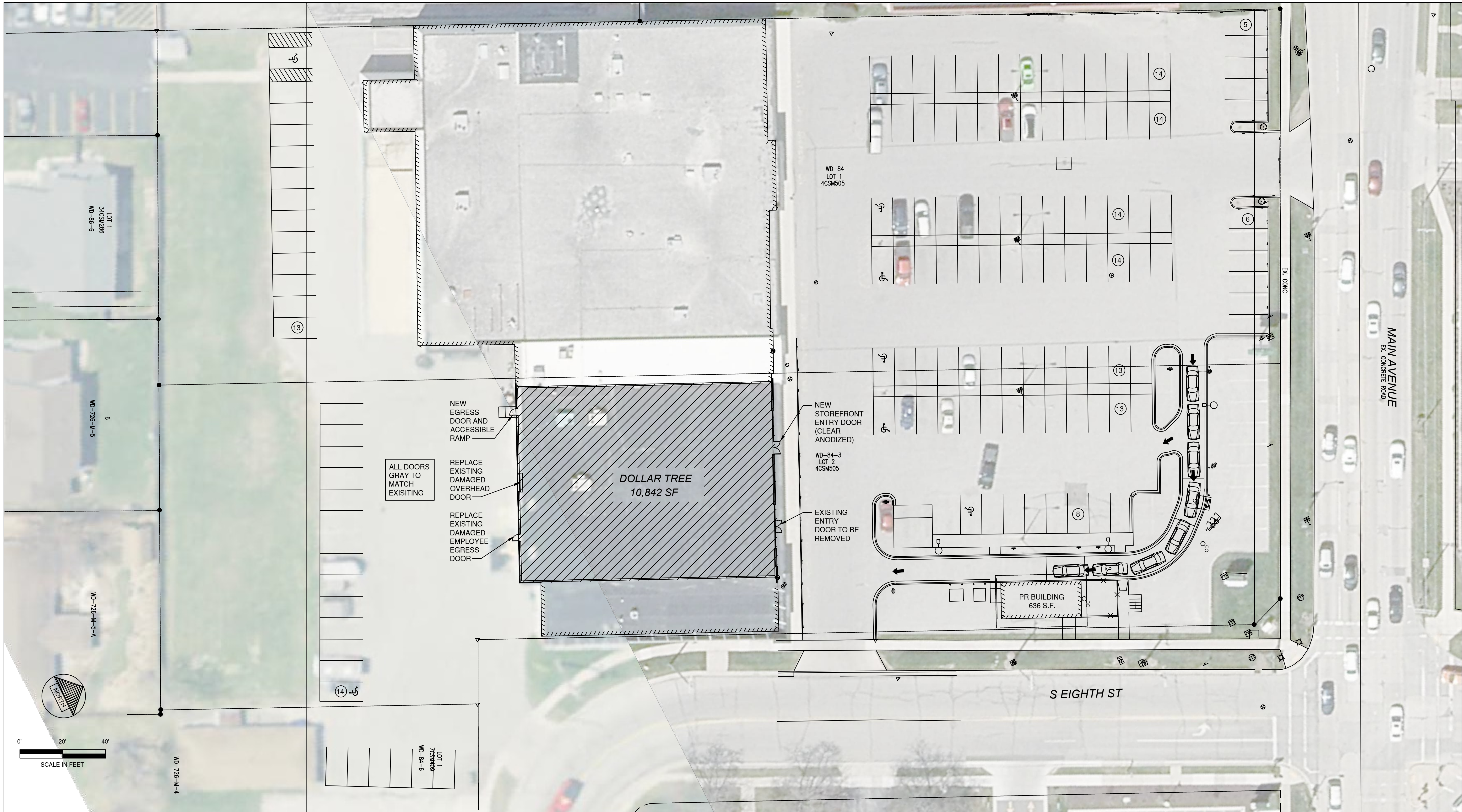


DOLLAR TREE
WEST MAIN CENTER, STORE 10755
801 MAIN AVE. DE PERE, WI 54115
ARCHITECTURAL SITE PLAN

project
drawing

sheet

AS1





SW ENVY



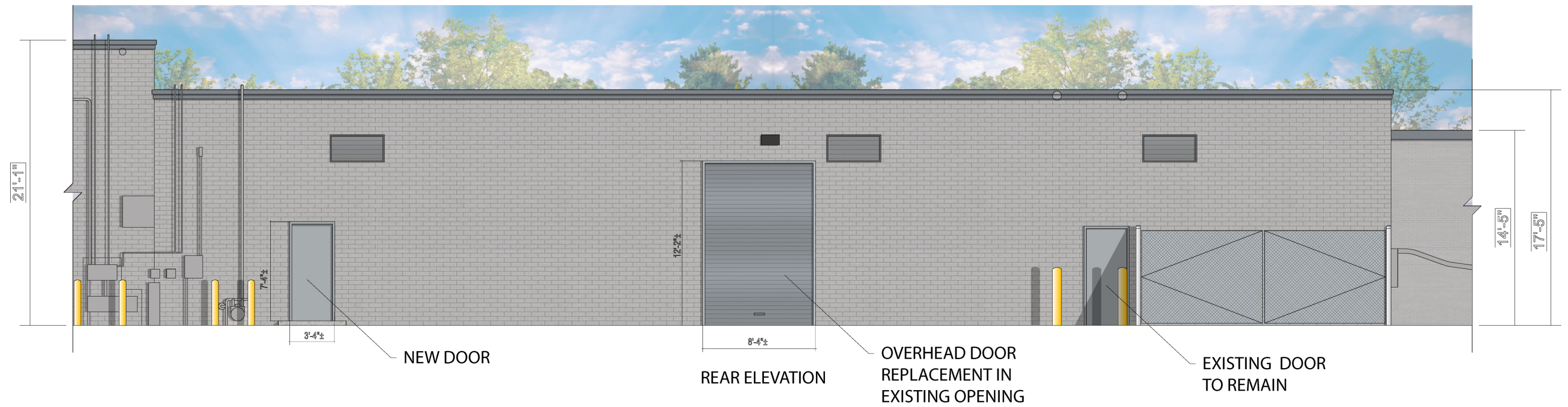
EXISTING FRONT ELEVATION



DE PERE , WI

Dollar Tree - 801 Main Ave.





EXISTING REAR ELEVATION 0' 4' 8' 16'

DE PERE , WI

Dollar Tree - 801 Main Ave.

