



Planning/Zoning Application

Planning & Zoning Department

Submitted On:

Aug 19, 2024, 10:23AM EDT

Parcel Number: (Include ALL parcels)	WD-1041-1, WD-1043, WD-1041-2, WD-1040
Nearest property address to the project site:	Street Address: 2107 American Blvd City: De Pere State: W Zip: 54115
Check each project type that is being applied for:	Site Plan
Current De Pere Zoning Districts:	BP-2
Existing Site Land Uses:	Business Park/Industrial
Proposed Site Land Uses:	Business Park/Industrial
Does the project comply with the Comprehensive Plan?	Yes
Has City Staff been contacted for a preapplication meeting?	Yes
Property Owner:	First Name: Ben Last Name: Bukowiec
Is the property owner's address the same as the nearest property address?	No
Property Owner's Address:	Street Address: 1740 Eisenhower Drive City: De Pere State: W Zip: 54114
Property Owner's Phone Number:	920-615-3408
Property Owner's Email Address:	ben.bukowiec@robinsoninc.com
Is someone processing the project for the property owner as their authorized representative?	Yes
Authorized Representative's Name:	First Name: Steven Last Name: Kolar
Authorized Representative's Business Name:	Payne & Dolan, Inc

Authorized Representative's Phone Number:		9207577561
Authorized Representative's Email Address:		skolar@walbecgroup.com
Please attach a PDF copy of the site plan.		08 16 24 Robinson Phase 2.pdf
Would you like a basic checklist of information to include in the site plan?		Yes
How do you plan on paying for your application?		Online with a credit card
Total Due:		\$350.00
Signature Data	First Name: Steve Last Name: Kolar Email Address: skolar@walbecgroup.com	
	 Signed at: August 19, 2024 10:18am America/New_York	
User's Session Information		IP Address: 12.165.201.130 Referrer URL:

CITY OF DE PERE

335 South Broadway, De Pere, WI 54115 | www.de-pere.org



October 9, 2024

Steve Kolar
Payne & Dolan INC
W6380 Design DR
Greenville, WI 54942

RE: Site Plan Review for the Robinson Metal Driveway (Phase 2A) at 2107 American BL
(Parcels WD1041-1, WD-1043, WD-1041-2, WD-1040)

Dear Steve:

Thank you for the site plan for the Robinson Metal Driveway (Phase 2A) at 2107 American BL. The City of De Pere staff reviewed the site plan on October 9, 2024, and recommended approval with the following conditions that must be addressed prior to obtaining occupancy permits.

- Access easement for driveway access across property lines would be required, regardless of if this is the same owner. Provide the City a copy of the ingress/egress easement prior to occupancy.
- The document number and boundary for the "40-FT INGRESS EGRESS EASEMENT" is missing on Sheet C-4. Add to Sheet C-4 and submit updated site plan page.

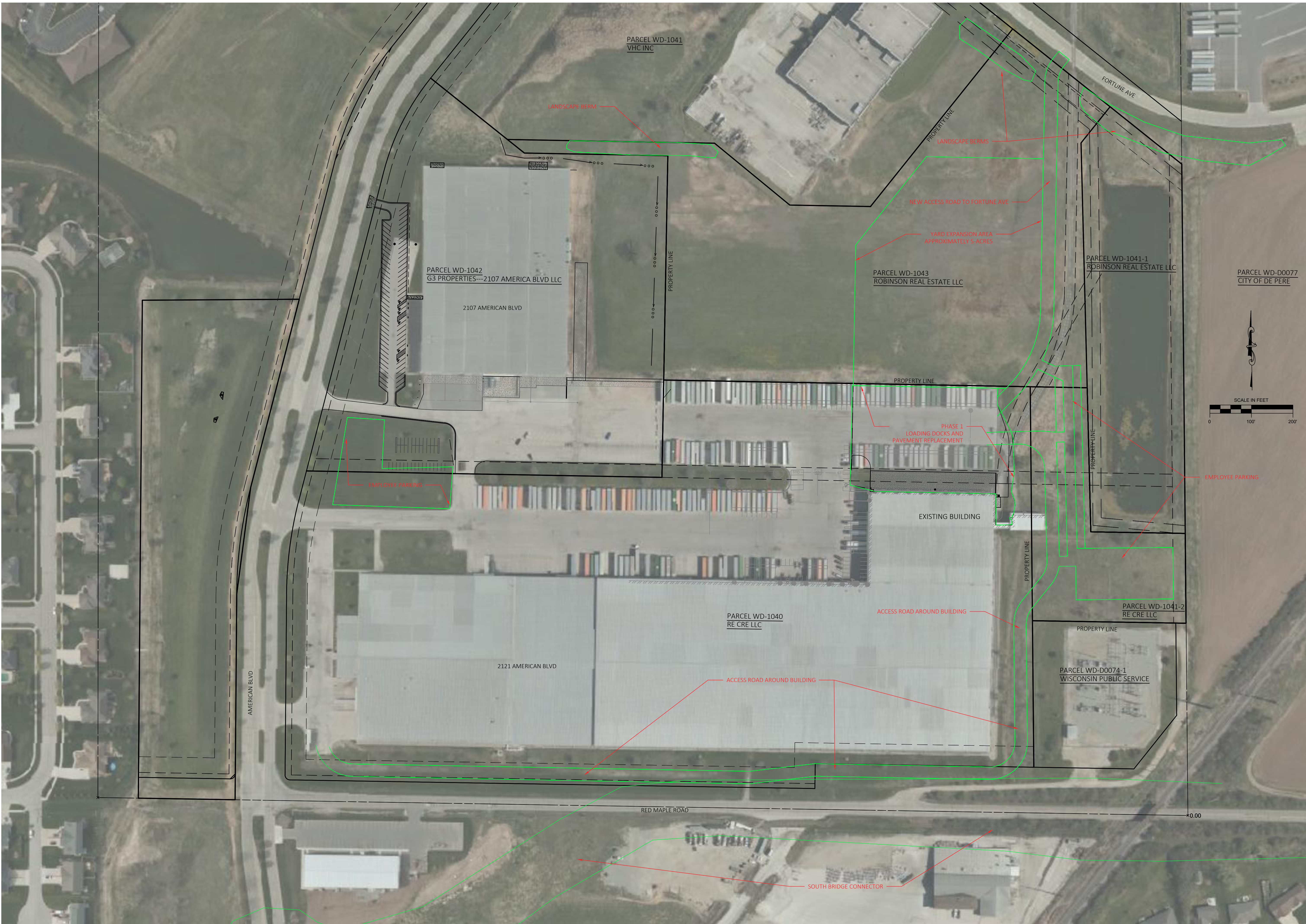
You may now proceed to the Inspection Division to begin the process of obtaining permits. Should you have any questions regarding the decision or require further information, feel free to contact me at 339-4043 or pschleinz@deperewi.gov.

Sincerely,

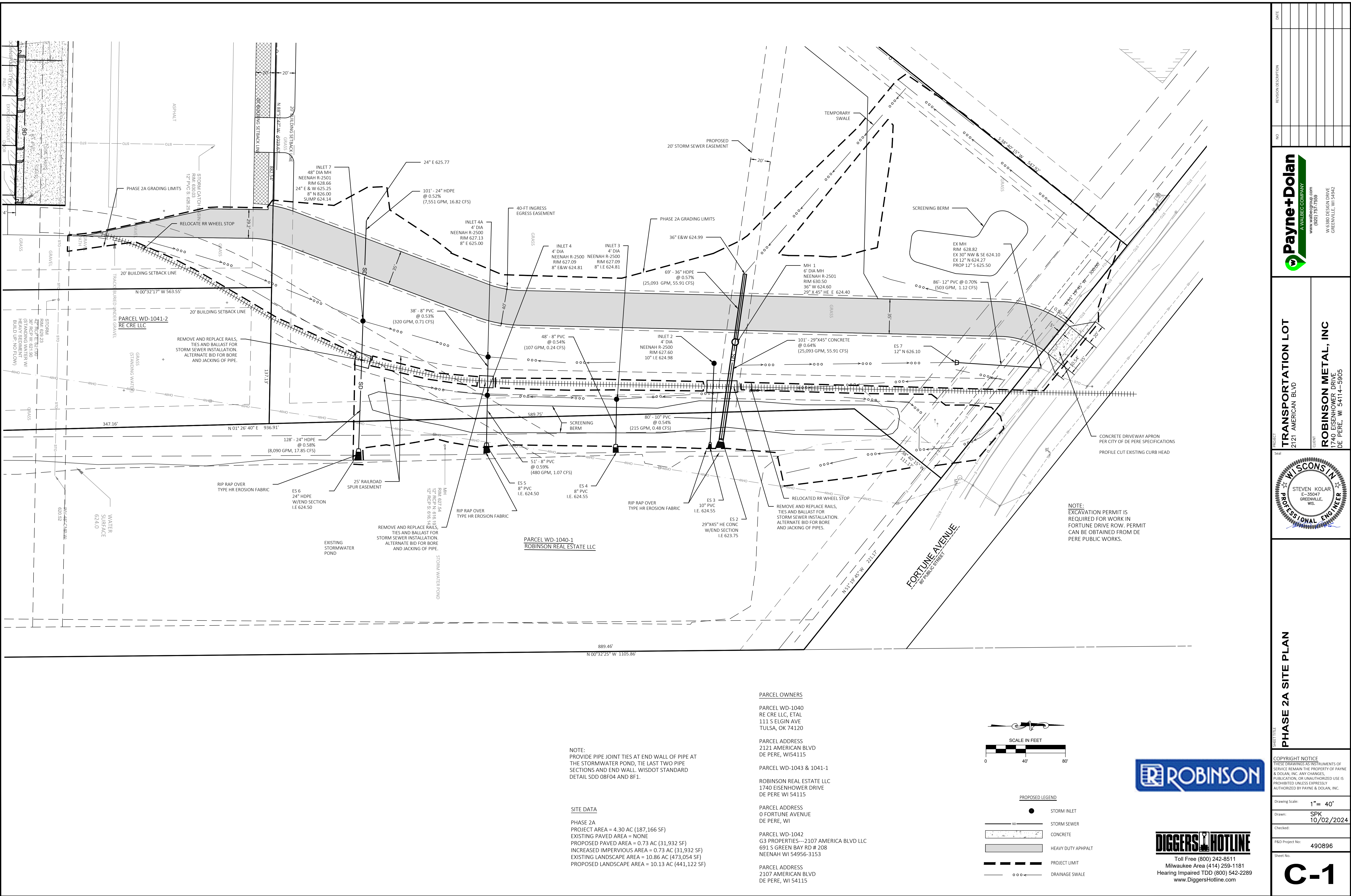
A handwritten signature in black ink that reads "Peter Schleinz". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Peter Schleinz
Senior Planner | Zoning Administrator

cc: Daniel J. Lindstrom, AICP, Development Services Director
Dennis Jensen, Senior Building Inspector



NO	REVISION DESCRIPTION	DATE
Paynet+Dolan A WALBECK COMPANY www.walbeckgroup.com (820) 767-1556		
PROJECT ROBINSON METAL		
CLIENT ROBINSON METAL, INC 1740 EISENHOWER DRIVE DE PERE, WI 54114-5905		
SHEET TITLE DEVELOPMENT OVERVIEW		
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Drawing Scale: 1"= 100'		
Drawn: SPK 05/29/2024		
Checked:		
P&D Project No: 490896		
Sheet No:		
EX-1		



NOTE:
PROVIDE PIPE JOINT TIES AT END WALL OF PIPE AT THE STORMWATER POND, TIE LAST TWO PIPE SECTIONS AND END WALL. WISDOT STANDARD DETAIL SDD 08F04 AND 8F1.

SITE DATA
PHASE 2A
PROJECT AREA = 4.30 AC (187,166 SF)
EXISTING PAVED AREA = NONE
PROPOSED PAVED AREA = 0.73 AC (31,932 SF)
INCREASED IMPERVIOUS AREA = 0.73 AC (31,932 SF)
EXISTING LANDSCAPE AREA = 10.86 AC (473,054 SF)
PROPOSED LANDSCAPE AREA = 10.13 AC (441,122 SF)

PARCEL OWNERS

PARCEL WD-1040
RE CRE LLC, ETAL
111 S ELGIN AVE
TULSA, OK 74120

PARCEL ADDRESS
2121 AMERICAN BLVD
DE PERE, WI 54115

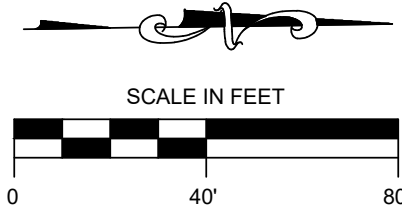
PARCEL WD-1043 & 1041-1

ROBINSON REAL ESTATE LLC
1740 EISENHOWER DRIVE
DE PERE WI 54115

PARCEL ADDRESS
O FORTUNE AVENUE
DE PERE, WI

PARCEL WD-1042
G3 PROPERTIES---2107 AMERICA BLVD LLC
691 S GREEN BAY RD # 208
NEENAH WI 54956-3153

PARCEL ADDRESS
2107 AMERICAN BLVD
DE PERE, WI 54115



- PROPOSED LEGEND**
- STORM INLET
 - SD — STORM SEWER
 - CONCRETE
 - HEAVY DUTY ASPHALT
 - PROJECT LIMIT
 - o o o — DRAINAGE SWALE



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NO

REVISION DESCRIPTION

DATE

PROJECT

TRANSPORTATION LOT

2121 AMERICAN BLVD

CLIENT

ROBINSON METAL, INC

1740 EISENHOWER DRIVE

DE PERE, WI 54114-5905

PROFESSIONAL ENGINEER

WISCONSIN

STEVEN KOLAR

E-35047

GREENVILLE, WIS.

PHASE TITLE

PHASE 2A SITE PLAN

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SPK

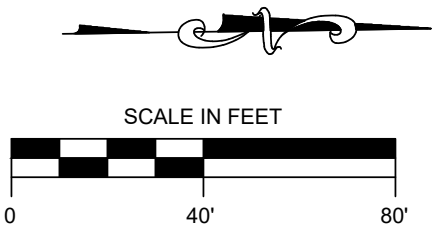
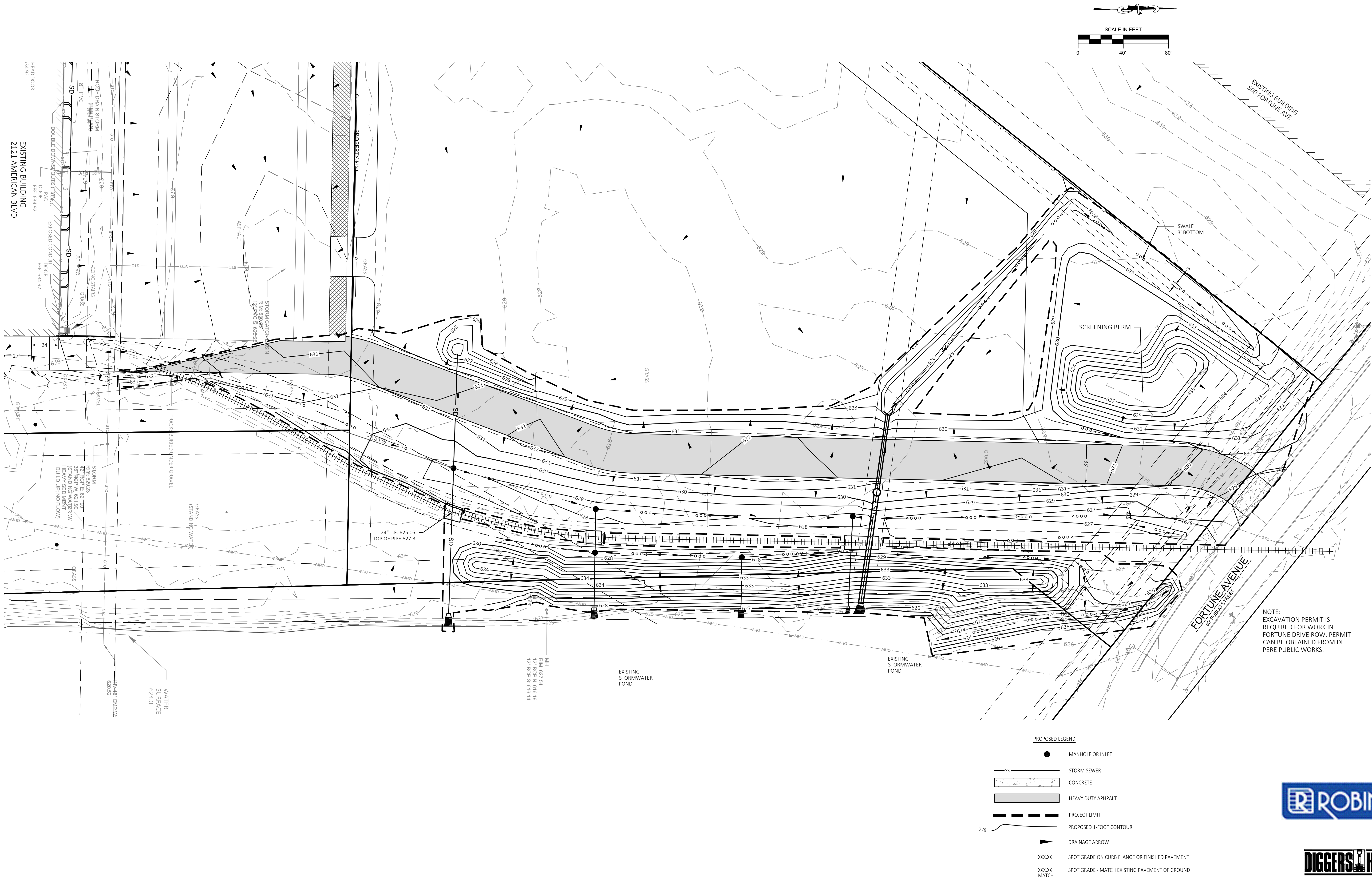
Checked:

P&D Project No:

490896

Sheet No:

C-1



NOTE:
EXCAVATION PERMIT IS
REQUIRED FOR WORK IN
FORTUNE DRIVE ROW. PERMIT
CAN BE OBTAINED FROM DE
PERE PUBLIC WORKS.

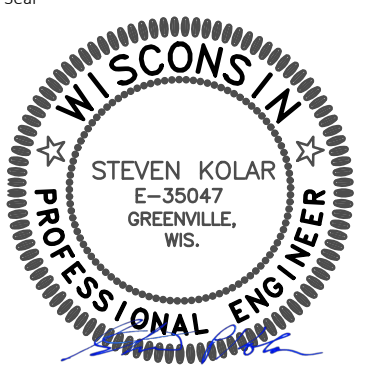


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Paynet+Dolan
A WALBECK COMPANY
www.walbeckgroup.com
(800) 767-7559
W 6380 DESIGN DRIVE
GREENVILLE, WI 54902

TRANSPORTATION LOT
2121 AMERICAN BLVD
ROBINSON METAL, INC
1740 EISENHOWER DRIVE
DE PERE, WI 54114-5905



PHASE 2A GRADING PLAN

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Drawn: **SPK**
10/02/2024

Checked:

P&D Project No: **490896**

Sheet No:

C-2



Developer: **Robinson De Pere Phase 2A**
Project: **Robinson De Pere Phase 2A**
Date: **08/05/24**
County: **Brown**

Soil Loss & Sediment Discharge Calculation Tool															Version 1.0	
for use on Construction Sites in the State of Wisconsin																
WISCONSIN DEPT. OF NATURAL RESOURCES																
YEAR 1																
WDR Version 2.0 (06-29-2017)																
Activity (1)	Begin Date (2)	End Date (3)	Period R Factor (4)	Annual R Factor (5)	Sub Soil Texture (6)	Soil Erodibility K Factor (7)	Slope (%) (8)	Slope Length (ft) (9)	LS Factor (10)	Land Cover C Factor (11)	Soil loss A (tons/acre) (12)	SDF (13)	Sediment Control Practice (14)	Sediment Discharge (t/ac) (15)		
Bare Ground	09/15/24	10/11/24	6.1%	100	Sandy Clay Loam	0.37	25.0%	36	3.73	1.00	8.4	0.345	Silt Fence	1.7		
Seed with Mulch or Er	10/11/24	12/15/24	6.6%	100	Sandy Clay Loam	0.37	25.0%	36	3.73	0.10	0.9	0.345	Silt Fence	0.2		
End	12/15/24	-----	-----	-----	-----	-----	25.0%	36	3.73	-----	-----	0.000	-----	0.0		
-----	-----	-----	-----	-----	-----	-----	25.0%	36	3.73	-----	-----	0.000	-----	0.0		
-----	-----	-----	-----	-----	-----	-----	25.0%	0	-----	-----	-----	0.000	-----	0.0		
-----	-----	-----	-----	-----	-----	-----	0.0%	0	-----	-----	-----	0.000	-----	0.0		
TOTAL											9.3		TOTAL	1.9		
													% Reduction Required	NONE		

Notes: See State Dept. for further details of updates and how to use this tool.



EROSION CONTROL

THE FOLLOWING EROSION AND POLLUTANT CONTROL MEASURES ARE TO BE IMPLEMENTED ON THIS SITE AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME THAT THE SITE IS STABILIZED.

- SUBSOILS ARE CLASSIFIED AS, OSHKOSH SILT LOAM AND KEWAUNEE SILT LOAM, PER THE USDA-NRCS SOIL SURVEY.
- THE PROJECT WILL BE CONSTRUCTED IN ONE PHASE.
- IMMEDIATE RECEIVING WATERS, STORMWATER POND AND UN-NAMED CHANNEL TO THE FOX RIVER.

EROSION CONTROL MEASURES:

1. VEHICLE TRACKING MATS SHALL BE INSTALLED AT ALL CONSTRUCTION ENTRANCES PER WDNR TECHNICAL STANDARD 1057 REQUIREMENT.
2. STORM DRAIN INLET PROTECTION SHALL BE INSTALLED AND MAINTAINED PER WDNR TECHNICAL STANDARD 1060.
3. SILT FENCE PERIMETER CONTROL, IF USED WILL BE INSTALLED PER WDNR TECHNICAL STANDARD 1056.
4. EROSION MATTING WILL BE INSTALLED PER WDNR TECHNICAL STANDARDS 1052 FOR NON-CHANNEL MATTING AND 1053 FOR CHANNEL MATTING.
5. CONTRACTOR SHALL BE RESPONSIBLE TO PROMPTLY CLEAN UP ALL SEDIMENT DEPOSITS THAT OCCUR OFF SITE BY THE END OF EACH WORKDAY.
6. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURES UNTIL THE SITE HAS BEEN STABILIZED. CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE PER WEEK AND AFTER EACH RAINFALL EVENT OF 1/2 INCH OR MORE. CONTRACTOR SHALL KEEP A LOGBOOK OF ALL INSPECTION REPORTS ON SITE ALONG WITH ALL PERMITS THAT ARE REQUIRED FOR THE PROJECT. THE EROSION CONTROL PLAN SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
7. DRAINAGE WAYS ARE TO BE SEEDED AND MULCHED OR SODDED OR CHANNEL EROSION MATTING INSTALLED AS SOON AS POSSIBLE. SIDE SLOPES OF DRAINAGE WAYS THAT ARE SLOPED 4:1 OR GREATER AND FLOW LINES OF THE DRAINAGE WAYS SHALL HAVE EROSION FABRIC OR MATTING INSTALLED TO PROTECT FROM EROSION. LIGHT DUTY WSDOT CLASS I URBAN TYPE A MAT IS RECOMMENDED FOR THE SLOPED AREAS AND TYPE B CLASS II FOR THE FLOW LINE OF THE SWALES. DITCH CHECKS SHALL BE INSTALLED AS INDICATED ON THE GRADING AND EROSION CONTROL PLAN.
8. ALL AREAS OF BARE SOIL LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE SEEDED WITH A FAST GROWING ANNUAL GRASS (TEMPORARY) SUCH AS OATS AND RYE AND MULCHED.
9. DEWATERING IS NOT ANTICIPATED. IF DEWATERING IS NECESSARY IT SHALL FOLLOW THE REQUIREMENTS OF WDNR TECHNICAL STANDARD 1061.
10. DUST CONTROL MEASURES FOR CONSTRUCTION ACTIVITIES SHALL INCLUDE MINIMIZATION OF SOIL DISTURBANCE, APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES AND BARRIERS. THESE MEASURES SHALL BE APPLIED AS APPLICABLE TO THE SITE CONDITIONS AND SHALL FOLLOW THE REQUIREMENTS OF WDNR TECHNICAL STANDARD 1068.
11. CONTRACTOR SHALL HAVE A DESIGNATED AREA FOR TRASH AND PROMPTLY DISPOSE OF ALL WASTE MATERIAL.
12. ANY SPILL THAT MAY OCCUR SHALL BE PROMPTLY CLEANED UP PER LOCAL AND STATE REQUIREMENTS.

DISTURBED AREA PHASE 2A - 189,553 SF, 4.35 AC
NARRATIVE AND CONSTRUCTION SEQUENCE

ROBINSON INC. IS CONSTRUCTING A NEW TRANSPORTATION LOT AND ENTRANCE DRIVEWAY TO FORTUNE AVENUE. DRAINAGE SWALE AND NEW STORM SEWER IS BEING CONSTRUCTED TO CONVEY STORMWATER RUNOFF TO AN EXISTING REGIONAL STORMWATER POND ADJACENT TO THE PROPERTY TO THE EAST. STORMWATER IS BEING COLLECTED IN AN EXISTING STORM SEWER. LANDSCAPE SCREENING BERMS ARE ALSO BEING CONSTRUCTED TO MEET SCREENING REQUIREMENT.

ESTIMATED CONSTRUCTION TIMEFRAMES*:

INSTALL EROSION CONTROL MEASURES = SEPT. 2024

EXCAVATION AND CONSTRUCTION OF STORM SEWER AND DRIVEWAY = SEPTEMBER 2024

LANDSCAPING AND FINAL RESTORATION = SEPTEMBER - OCTOBER 2024

THE INTENDED SEQUENCES OF SITE CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:

1. INSTALL EROSION CONTROL MEASURES AS INDICATED ON THE EROSION CONTROL PLAN AND IN ACCORDANCE WITH THE REQUIREMENTS OF WDNR CONSERVATION PRACTICE STANDARDS.
2. STRIP TOPSOIL AND REMOVE VEGETATION.
3. RE-GRADED AND FILL AREA FRO DRIVEWAY, CONSTRUCT SCREENING BERMS.
4. INSTALL STORM SEWER AND STRUCTURES.
5. FINE GRADE AND INSTALL PAVEMENT.
6. LANDSCAPING AND FINAL RESTORATION.
7. RESTORE ALL AREAS OF BARE SOIL WITH 4" TOPSOIL SEED AND MULCH.
8. WHEN THE SITE VEGETATION HAS BEEN ESTABLISHED AND THE POTENTIAL OF EROSION IS STABILIZED, THE TEMPORARY EROSION CONTROL MEASURE WILL BE REMOVED.

*CONSTRUCTION ACTIVITY DATES ARE APPROXIMATE AND MAY CHANGE DUE TO WEATHER OR OTHER UNFORESEEN REASONS.

PROPOSED LEGEND

- FLOW DIRECTION
- SF PERIMETER EROSION CONTROL - SILT FENCE
- DISTURBED AREA/PROJECT LIMITS
- TRACKING PAD
- DITCH CHECK
- INLET PROTECTION TYPE A PRE-PAVING, TYPE D POST PAVING PER WDNR TECHNICAL STANDARD 1060, JANUARY 2022 UPDATE
- SINGLE NETTED LIGHT DUTY (WSDOT CLASS I TYPE A) WSDOT SEED MIXTURE NO. 20
- DOUBLE NETTED LIGHT DUTY (WSDOT CLASS I TYPE B) (BOTTOM OF DITCHES)



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NO	REVISION DESCRIPTION	DATE



TRANSPORTATION LOT
2121 AMERICAN BLVD

ROBINSON METAL, INC
1740 EISENHOWER DRIVE
DE PERE, WI 54114-5905

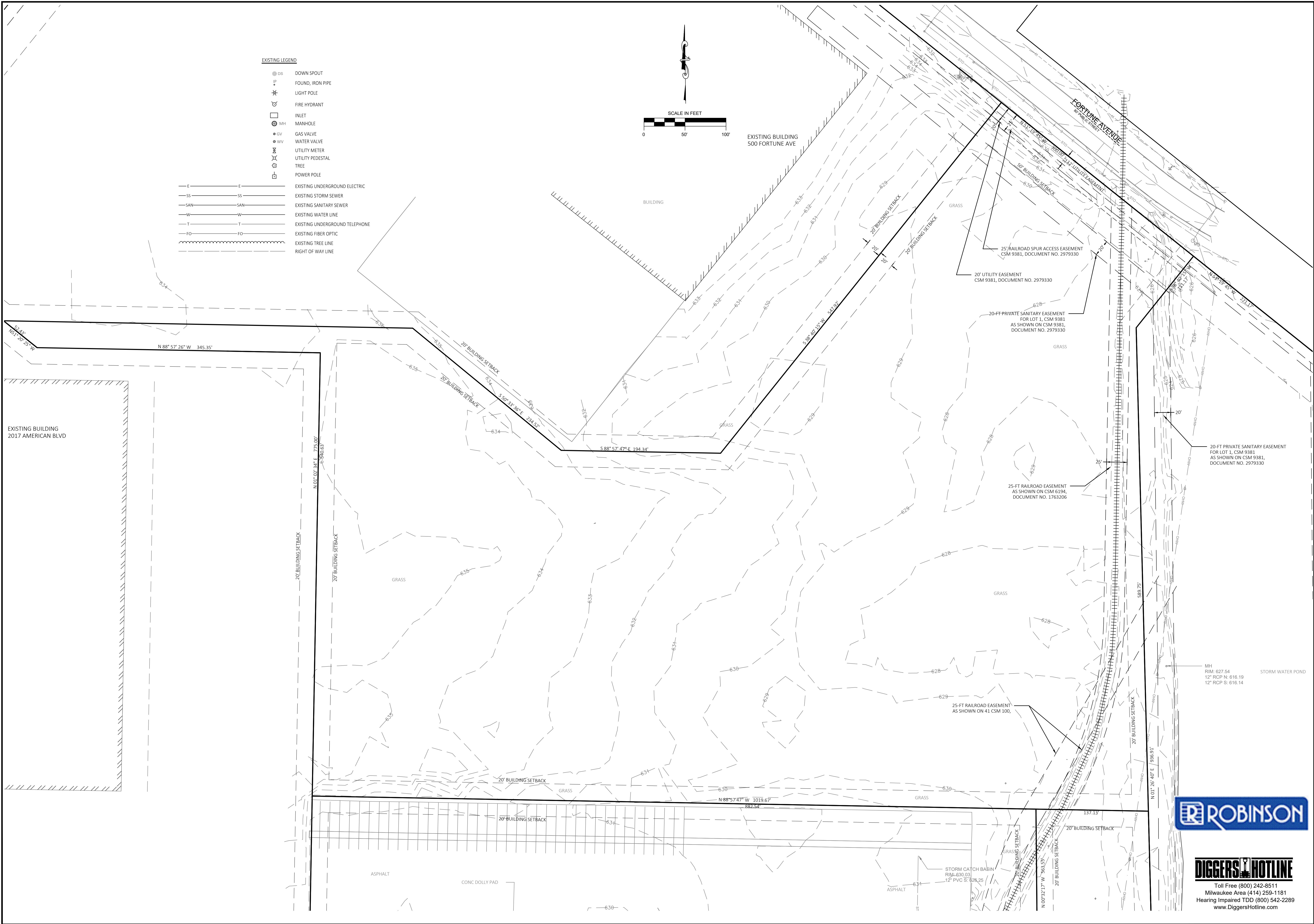


PHASE 2A EROSION CONTROL PLAN

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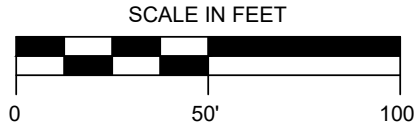
C-3



EXISTING LEGEND

- DS DOWN SPOUT
- IP FOUND, IRON PIPE
- LP LIGHT POLE
- HY FIRE HYDRANT
- IN INLET
- MH MANHOLE
- GV GAS VALVE
- WV WATER VALVE
- UM UTILITY METER
- UP UTILITY PEDESTAL
- TREE TREE
- PP POWER POLE

- E EXISTING UNDERGROUND ELECTRIC
- SS EXISTING STORM SEWER
- SAN EXISTING SANITARY SEWER
- W EXISTING WATER LINE
- T EXISTING UNDERGROUND TELEPHONE
- FO EXISTING FIBER OPTIC
- TL EXISTING TREE LINE
- RL RIGHT OF WAY LINE



SCALE IN FEET

BUILDING

EXISTING BUILDING
500 FORTUNE AVE

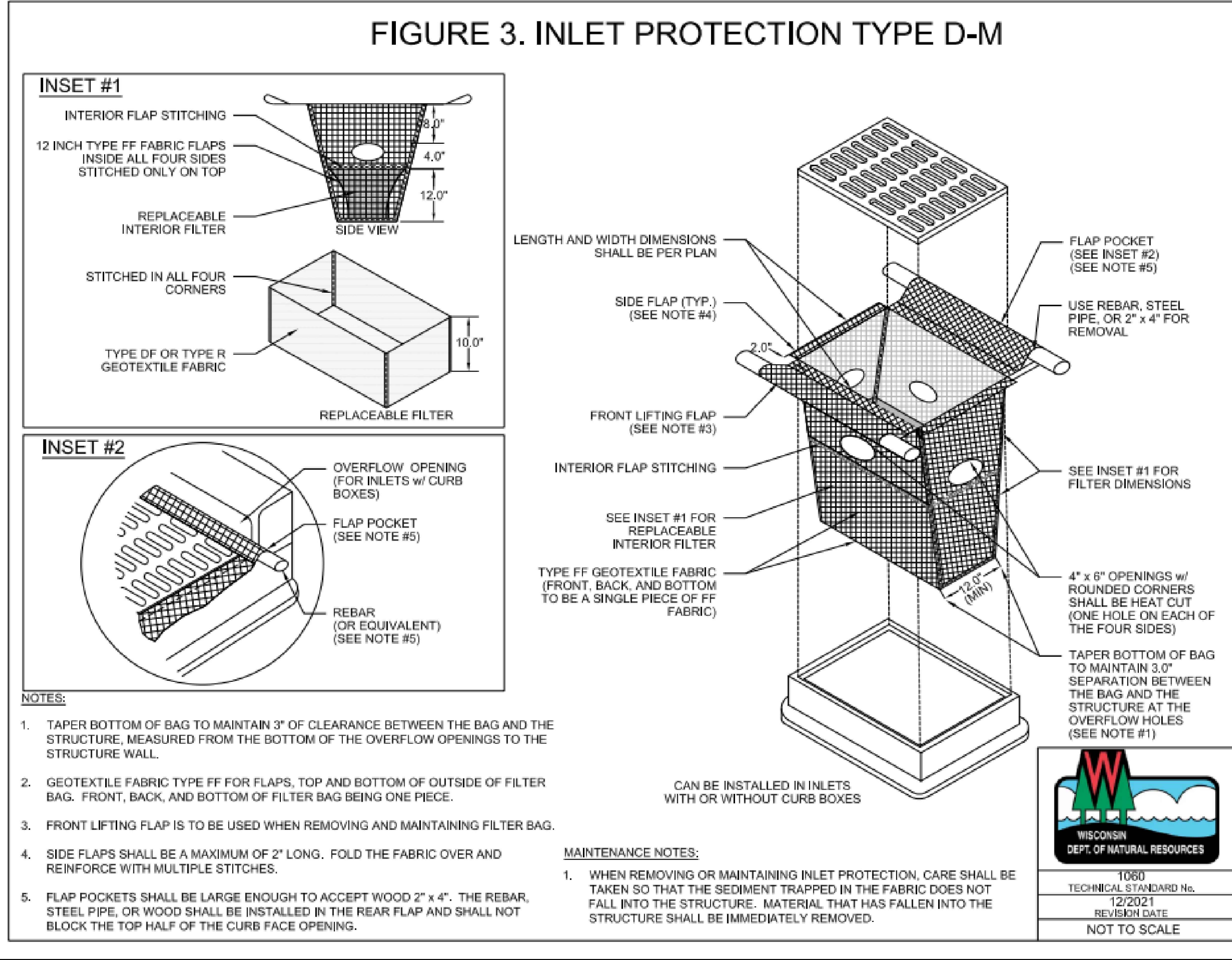
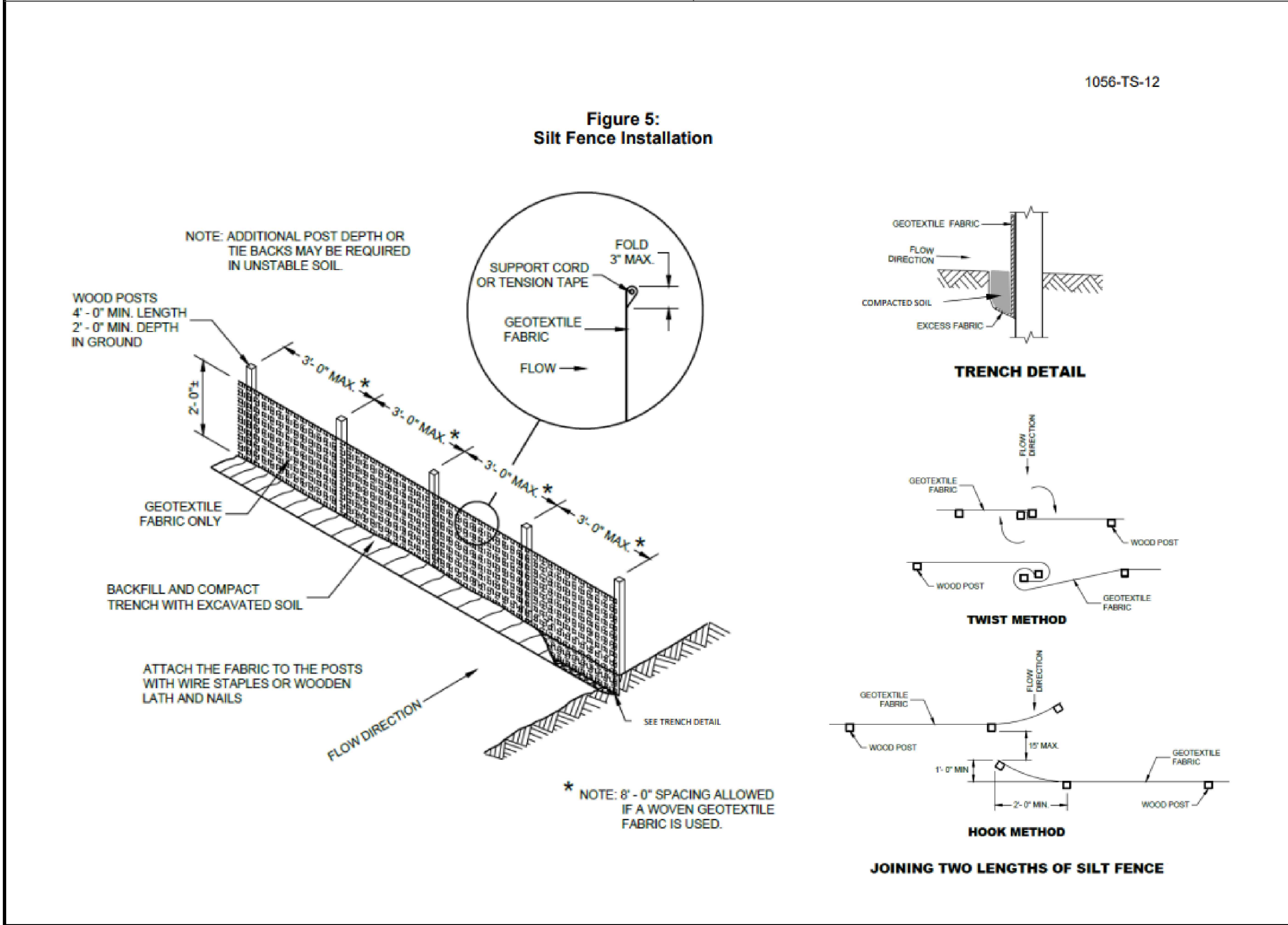
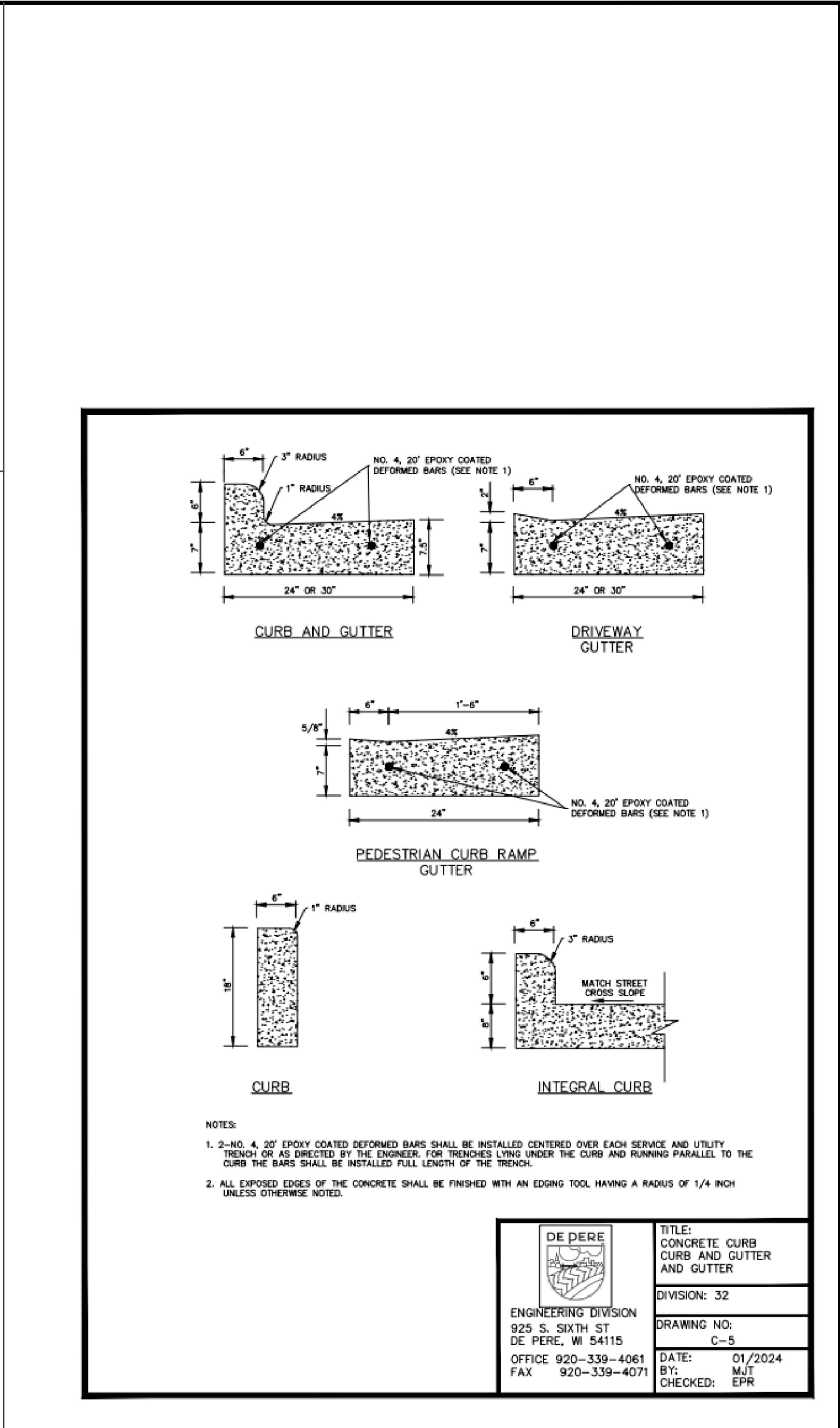
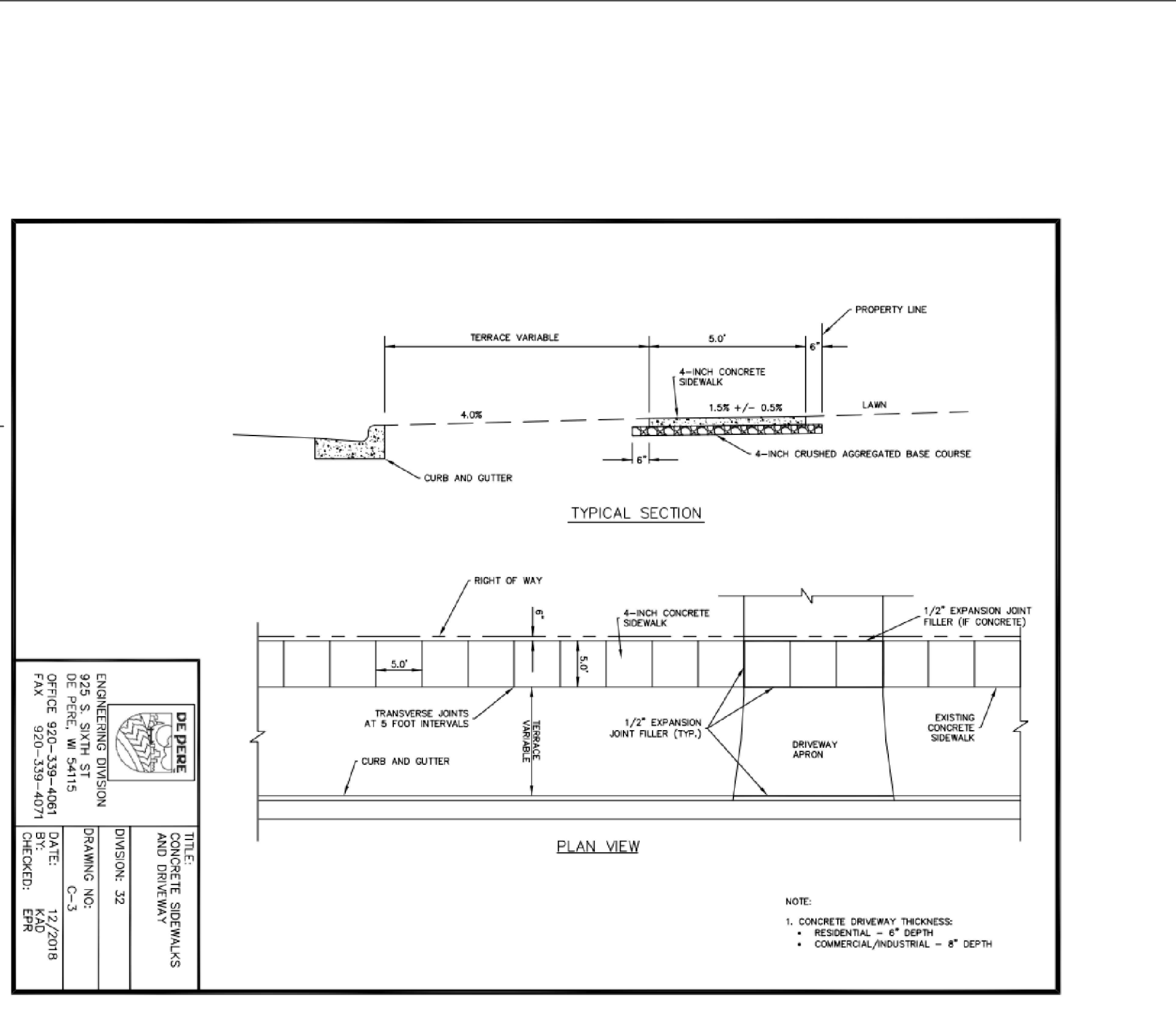
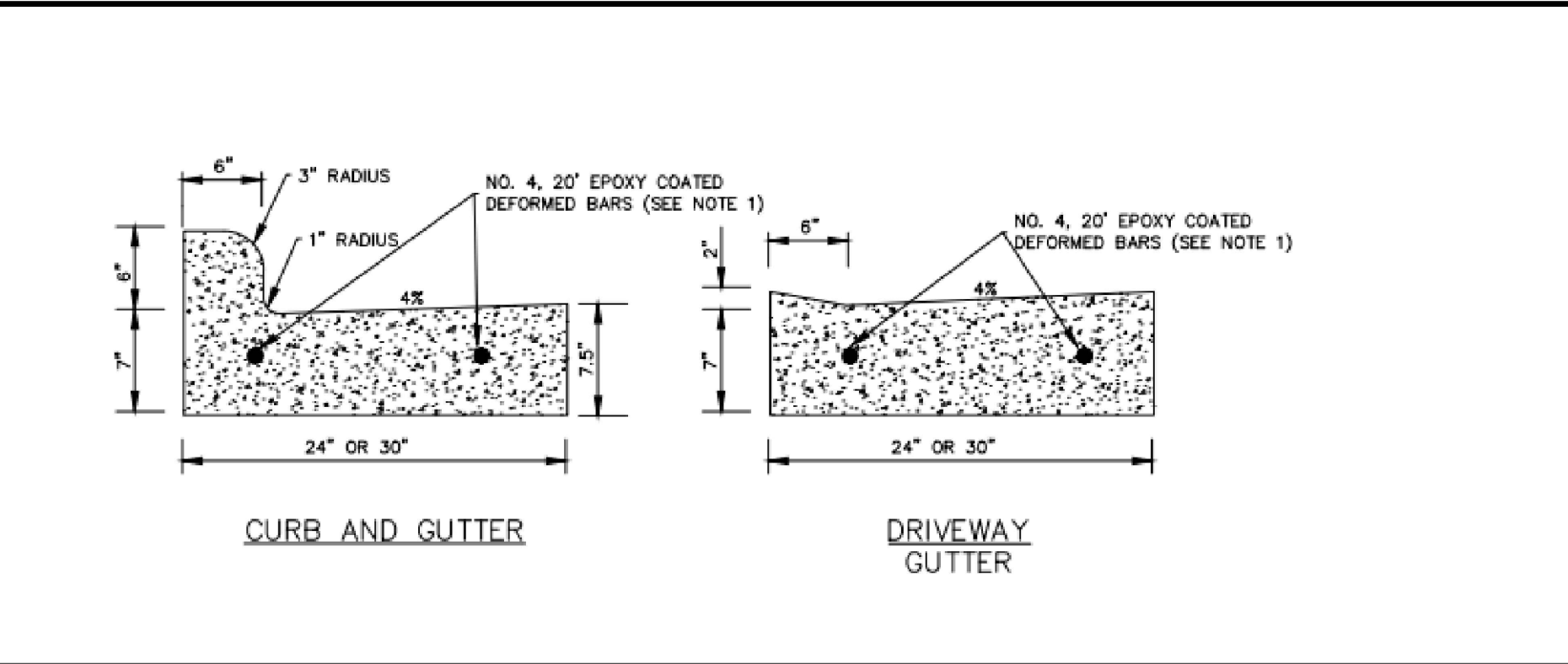
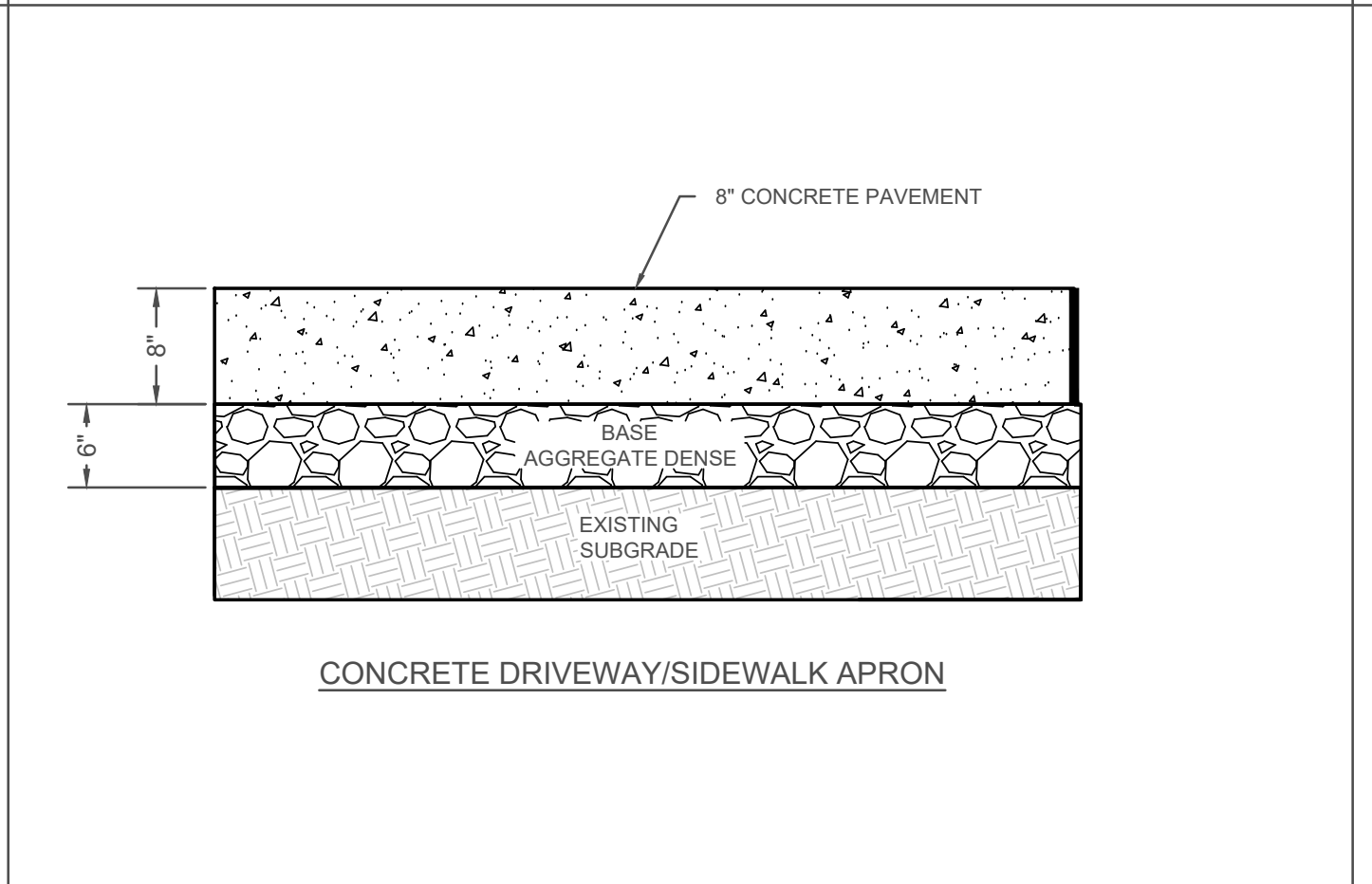
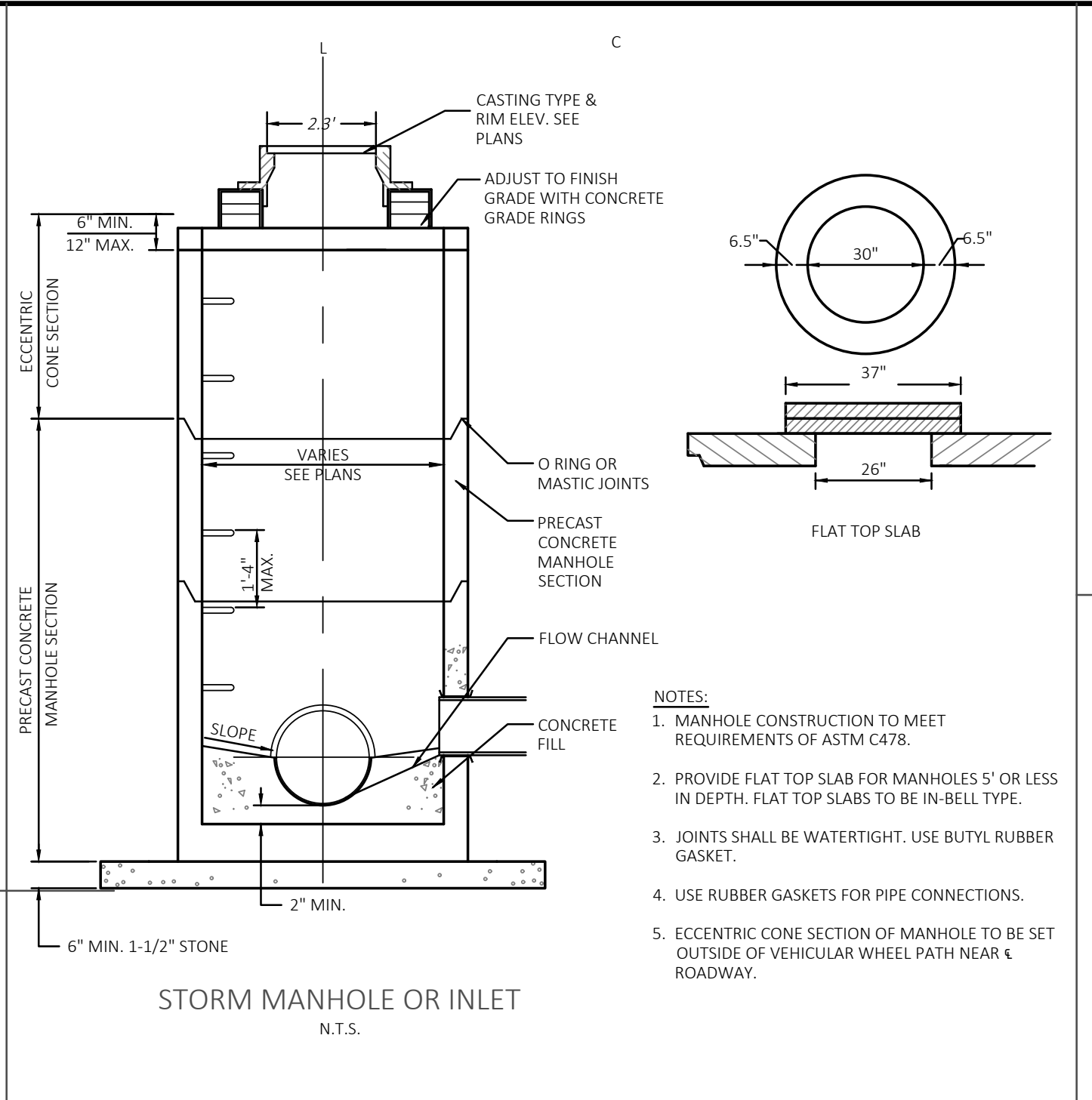
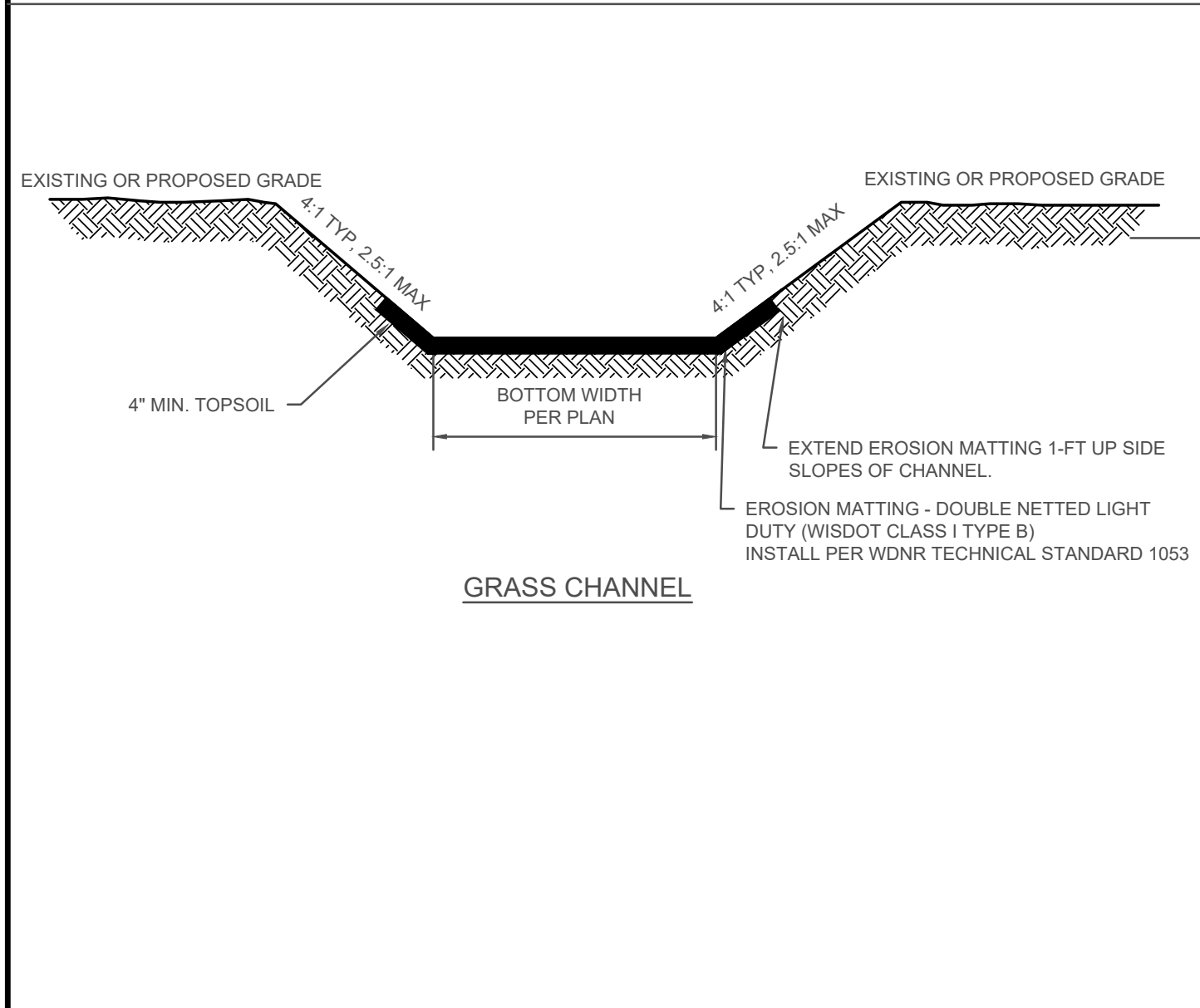
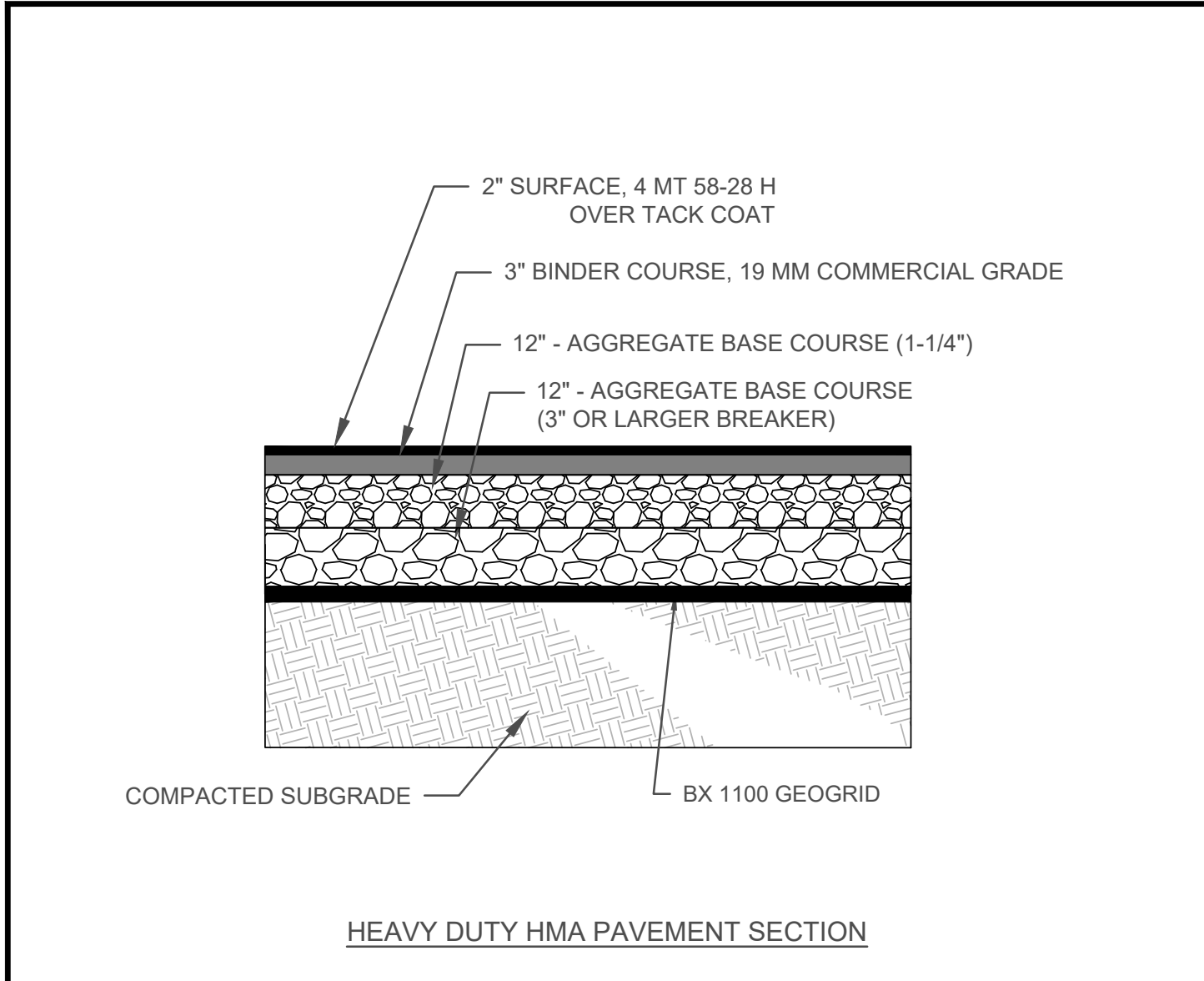
EXISTING BUILDING
2017 AMERICAN BLVD

REVISION DESCRIPTION		DATE
NO		

A WALBEC COMPANY
www.walbecgroup.com
(820) 767-7550
W 6380 DESIGN DRIVE
GREENVILLE, WI 54502

PROJECT	TRANSPORTATION LOT 2121 AMERICAN BLVD
CLIENT	ROBINSON METAL, INC 1740 EISENHOWER DRIVE DE PERE, WI 54114-5905

TOPOGRAPHIC SURVEY	
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P&D Project No:	490896
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DATE	
REVISION DESCRIPTION	
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www.walbecgroup.com
(820) 767-7550
W6380 DESIGN DRIVE
GREENVILLE, WI 53022

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2121 AMERICAN BLVD

ROBINSON METAL, INC
1740 EISENHOWER DRIVE
DE PERE, WI 54114-5905

DETAILS

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Sheet No: **C-5**

