



# Planning/Zoning Application

Planning & Zoning Department

**Submitted On:**

Apr 24, 2025, 07:29AM EDT

<b>Parcel Number: (Include ALL parcels)</b>	ED-875-1
<b>Nearest property address to the project site:</b>	<b>Street Address:</b> 550 William Street <b>City:</b> De Pere <b>State:</b> W <b>Zip:</b> 54115
<b>Check each project type that is being applied for:</b>	Site Plan
<b>Current De Pere Zoning Districts:</b>	MX1
<b>Existing Site Land Uses:</b>	Commercial
<b>Proposed Site Land Uses:</b>	Residential Commercial
<b>Does the project comply with the Comprehensive Plan?</b>	Yes
<b>Has City Staff been contacted for a preapplication meeting?</b>	Yes
<b>Property Owner:</b>	<b>First Name:</b> Jason <b>Last Name:</b> Tadych
<b>Is the property owner's address the same as the nearest property address?</b>	No
<b>Property Owner's Address:</b>	<b>Street Address:</b> 1400 Fox River Drive <b>City:</b> De Pere <b>State:</b> W <b>Zip:</b> 54115
<b>Property Owner's Phone Number:</b>	920-277-4739
<b>Property Owner's Email Address:</b>	jason@tip-llc.com
<b>Is someone processing the project for the property owner as their authorized representative?</b>	Yes
<b>Authorized Representative's Name:</b>	<b>First Name:</b> Brandon <b>Last Name:</b> Robaidek
<b>Authorized Representative's Business Name:</b>	Robert E. Lee and Associates, Inc.

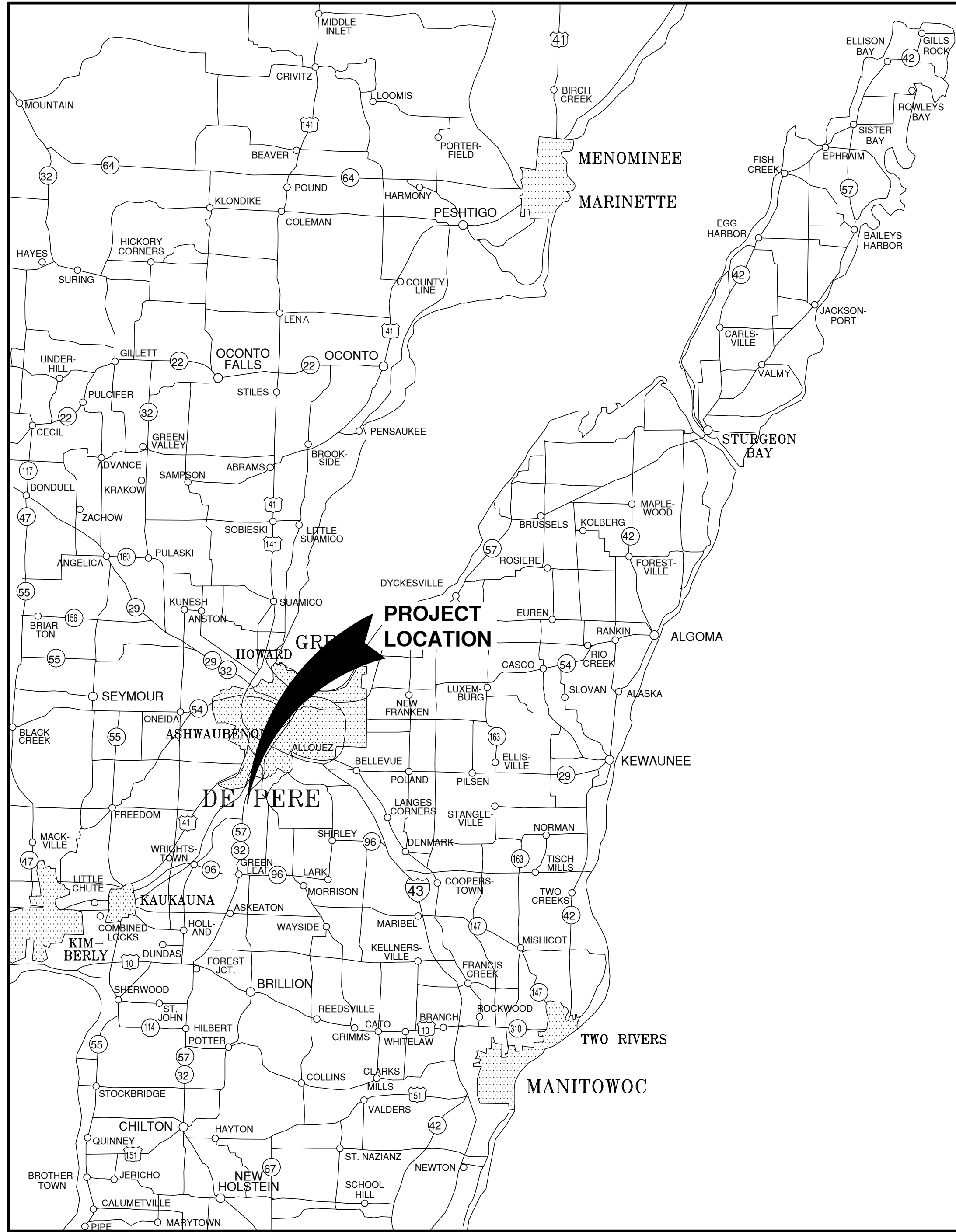


<b>Authorized Representative's Phone Number:</b>	920-662-9641
<b>Authorized Representative's Email Address:</b>	brobaidek@releeinc.com
<b>Please attach a PDF copy of the site plan.</b>	EUA - DE PERE - MULTI-UNIT DEV 30 X 42 2025-04-24.pdf
<b>Would you like a basic checklist of information to include in the site plan?</b>	Yes
<b>How do you plan on paying for your application?</b>	Online with a credit card
<b>Total Due:</b>	\$350.00
<b>Signature Data</b>	<div>First Name: Brandon</div> <div>Last Name: Robaidek</div> <div>Email Address: brobaidek@releeinc.com</div> <div></div> <div>Signed at: April 24, 2025 7:28am America/New_York</div>
<b>User's Session Information</b>	<div>IP Address: 24.106.22.82</div> <div>Referrer URL:</div>



550 WEST MIXED USE  
FOR EUA  
CITY OF DE PERE, BROWN COUNTY, WISCONSIN

ATTENTION!  
DOWNLOADED PLANS ARE NOT SCALEABLE, NEITHER THE  
OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE  
FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS.  
ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC.  
SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



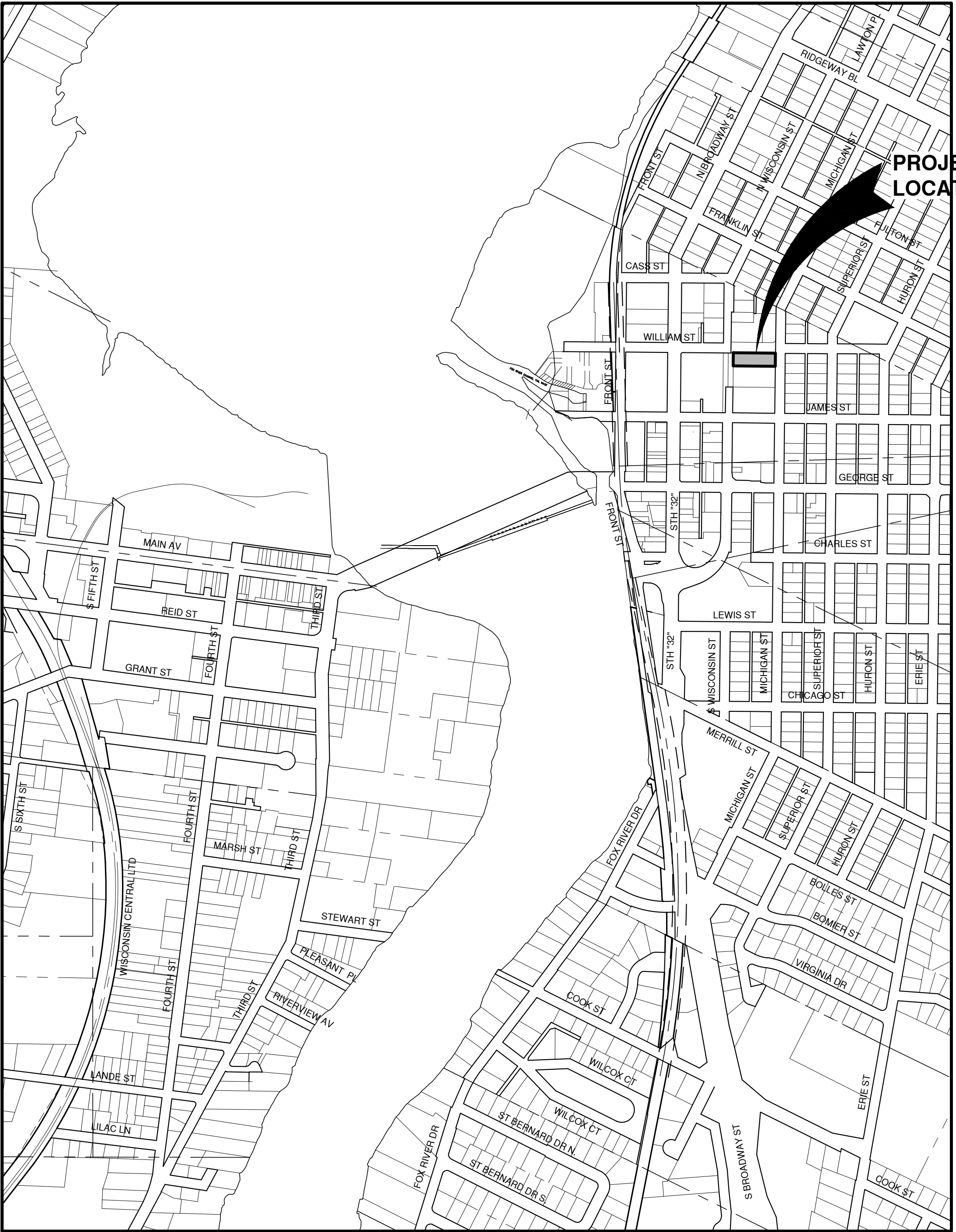
VICINITY MAP

NOTE:  
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE  
RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES.  
WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY  
OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO  
EXCAVATION.

NOTE:  
ALL EROSION CONTROL MEASURES SHALL  
BE IN PLACE PRIOR TO CONSTRUCTION  
AND SHALL CONFORM TO THE WISCONSIN  
DEPARTMENT OF NATURAL RESOURCES  
CONSTRUCTION SITE EROSION CONTROL  
AND TECHNICAL STANDARDS.

INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION
C000	LOCATION MAPS AND INDEX TO DRAWINGS
C001	GENERAL NOTES
C002	EXISTING SITE CONDITIONS
C100	SITE PLAN
C101	UTILITY PLAN
C102	GRADING AND EROSION CONTROL PLAN
C500	MISCELLANEOUS DETAILS
C501	EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D
C502	EROSION CONTROL - INLET PROTECTION TYPE D-HR AND TYPE D-M
C503	EROSION CONTROL - SHEET FLOW DETAILS
C504	EROSION CONTROL - TRACKOUT CONTROL PRACTICES



LOCATION MAP

FILE: P:\34500\34500.dwg  
PLOT: 34500.dwg  
PLOT DATE: 04/22/2025  
PLOT TIME: 10:00:00  
PLOT BY: J. LEE  
PLOT SCALE: 1/8" = 1'-0"

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	550 WEST MIXED USE FOR EUA CITY OF DE PERE BROWN COUNTY, WISCONSIN	DATE 04/22/2025 FILE 34500.dwg JOB NO. 3450017	SHEET NO. C000
1	4-14-25	BDP	EARLY BID PACKAGE									CHECKED	LOCATION MAPS AND INDEX TO DRAWINGS	1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com	
												DESIGNED			
												BDP			



OWNER INFORMATION:

WILLIAM STREET INVESTMENT PARTNERS, LLC.  
102 NORTH BROADWAY, SUITE 101  
DE PERE, WI 54115

920-277-4739

CONTACT: JASON TADYCH

ARCHITECT INFORMATION:

EUA  
124 NORTH BROADWAY  
DE PERE, WI 54115

920-278-0367

CONTACT: PAUL JANSSEN

UTILITY INFORMATION:

UTILITIES PRESENT:  
CITY OF DE PERE DEPARTMENT OF PUBLIC WORKS, WISCONSIN PUBLIC SERVICE CORP., AT & T, TIME WARNER, TDS METROCOM AND WINDSTREAM COMMUNICATIONS.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGER'S HOTLINE TICKETS NUMBERED 20244111520 AND 20244111522, BOTH DATED 10/19/2024, VISIBLE OBSERVATION AND RECORD UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

DIGGERS HOTLINE = 1-800-242-8511

WATER/SANITARY/STORM SEWER:  
DEPARTMENT OF PUBLIC WORKS  
CITY OF DE PERE  
925 SIXTH ST.  
DE PERE, WI 54155

(920) 339-4060

GAS & ELECTRIC:  
WISCONSIN PUBLIC SERVICE CORP.  
2850 S. ASHLAND AV.  
GREEN BAY, WI 54307

(920) 676-2717

TELECOMMUNICATIONS:  
AT & T / SBC  
205 S. JEFFERSON ST.  
GREEN BAY, WI 54301

(920) 433-4147

TELECOMMUNICATIONS:  
SPECTRUM / TIME WARNER / CHARTER  
12405 POWERSCOURT DR.  
ST. LOUIS MO 63131

(262) 446-9821

TELECOMMUNICATIONS:  
TDS METROCOM / TDS TELECOM  
1029 W. MASON ST.  
GREEN BAY, WI 54303

(920)884-3340

TELECOMMUNICATIONS:  
WINDSTREAM COMMUNICATIONS  
314 N. DANZ AV.  
GREEN BAY, WI 54302

(920) 410-8902



Dial 811 or (800) 242-8511  
www.DiggersHotline.com

TO OBTAIN LOCATION OF PARTICIPANTS  
UNDERGROUND FACILITIES BEFORE YOU  
DIG IN WISCONSIN

WIS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE.

LEGEND

- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER MANHOLE
- REDUCER/INCREASER
- SANITARY MANHOLE
- AIR RELIEF MANHOLE
- STORM MANHOLE
- STORM INLET (NOT IN CURB AND GUTTER)
- STORM INLET (IN CURB AND GUTTER)
- STORM INLET MANHOLE
- TANK COVER
- SOIL BORING
- POST
- IRON PIPE/ROD
- PK NAIL

- POWER POLE
- POWER POLE W/GUY WIRE
- LIGHT POLE
- TRAFFIC SIGNAL POLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- CABLE TV MANHOLE
- CABLE TV PEDESTAL
- GAS VALVE
- GAS METER
- MAILBOX
- SIGN
- BOLLARD

- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH
- RIP RAP

- CULVERT
- WETLANDS
- HANDICAP PARKING
- TO BE REMOVED
- TO BE DEMOLISHED

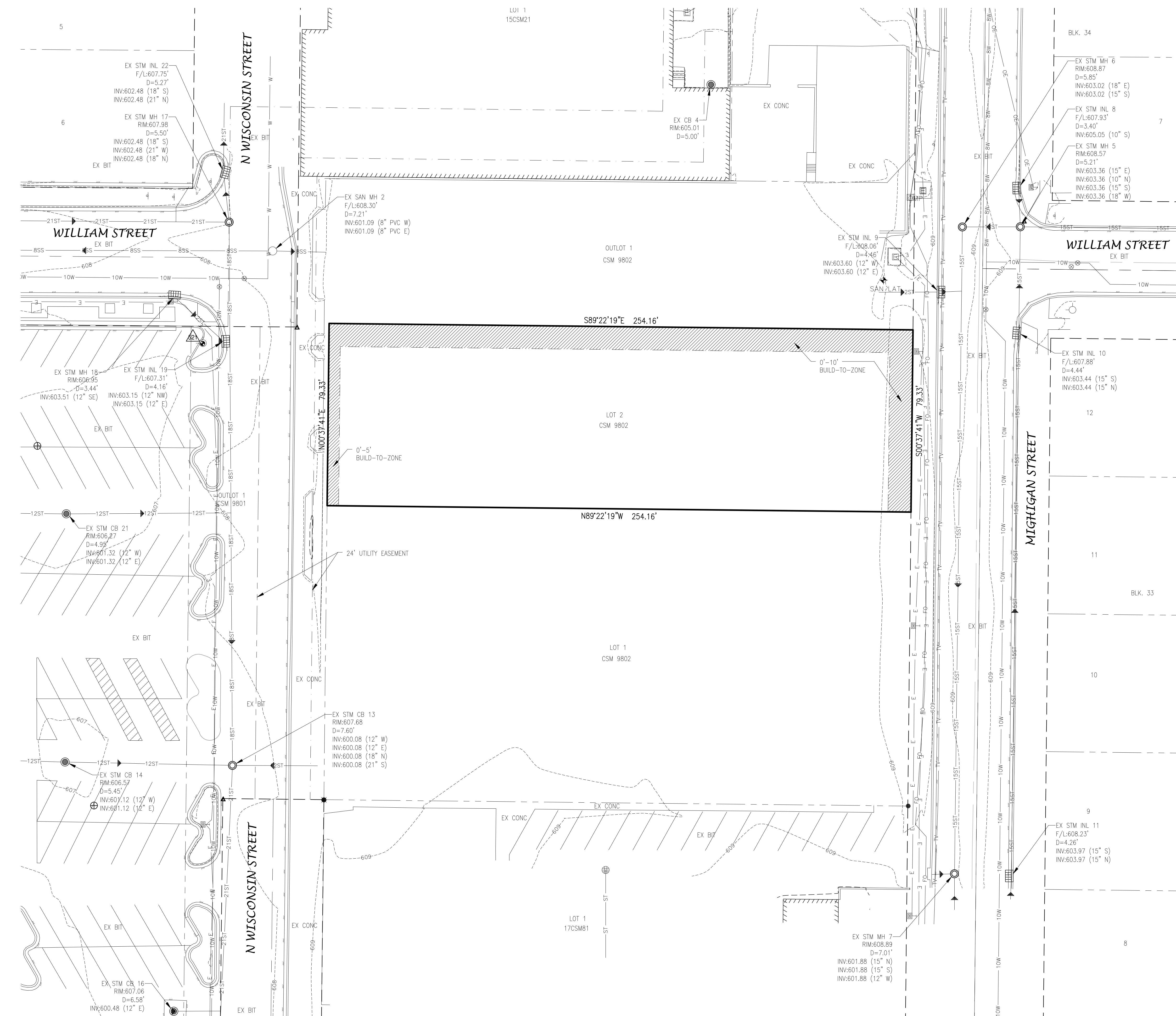
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CURB & GUTTER
- TREE/BRUSH LINE
- CONTOUR LINE
- RETAINING WALL
- GUARD RAIL
- FENCE

- SANITARY SEWER (SIZE NOTED)
- FORCEMAIN (SIZE NOTED)
- STORM SEWER (SIZE NOTED)
- WATERMAIN (SIZE NOTED)
- GAS LINE
- OVERHEAD TELEPHONE LINE
- UNDERGROUND TELEPHONE LINE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD CABLE TV LINE
- CABLE TV LINE
- FIBER OPTIC LINE
- R/W LINE
- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION LINE

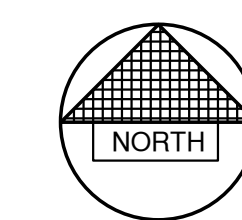
- GR. GRAVEL
- BIT. BITUMINOUS
- ASPH ASPHALT
- CONC CONCRETE
- SW SIDEWALK
- BLDG BUILDING
- HSE HOUSE
- PED PEDESTAL
- PP POWER POLE
- LP LIGHT POLE
- BM BENCH MARK
- WM WATERMAIN
- HYD. HYDRANT
- WV WATER VALVE
- SAN SANITARY SEWER
- MH MANHOLE
- ST STORM SEWER
- CB CATCH BASIN
- TELE TELEPHONE
- ELEC ELECTRIC
- TV TELEVISION
- STA. STATION
- VPC VERTICAL POINT OF CURVATURE
- VPI VERTICAL POINT OF INTERSECTION
- VPT VERTICAL POINT OF TANGENCY
- PC POINT OF CURVATURE
- PI POINT OF INTERSECTION
- PT POINT OF TANGENCY
- R RADIUS
- EX EXISTING
- PR PROPOSED
- EOR END OF RADIUS
- BOC BACK OF CURB
- B-B BACK TO BACK (OF CURB)
- F-F FACE TO FACE (OF CURB)
- R/W RIGHT OF WAY
- T/C TOP OF CURB
- F/L FLOW LINE
- C/L CENTERLINE
- R/L REFERENCE LINE
- INV INVERT
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- CULV CULVERT

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	550 WEST MIXED USE FOR EUA CITY OF DE PERE BROWN COUNTY, WISCONSIN	GENERAL NOTES	DATE	FILE	JOB NO.	1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com	SHEET NO.
1	4-4-25	BDR	EARLY BID PACKAGE									CHECKED			04/20/25	3439017	3439017		C001
												DESIGNED							
												BDR							







BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC.	
FIELD VERIFY BENCHMARKS FOR ACCURACY.			
NO.	DESCRIPTION		EL.
521	BURY BOLT ON HYDRANT		609.0



0' 20' 40'

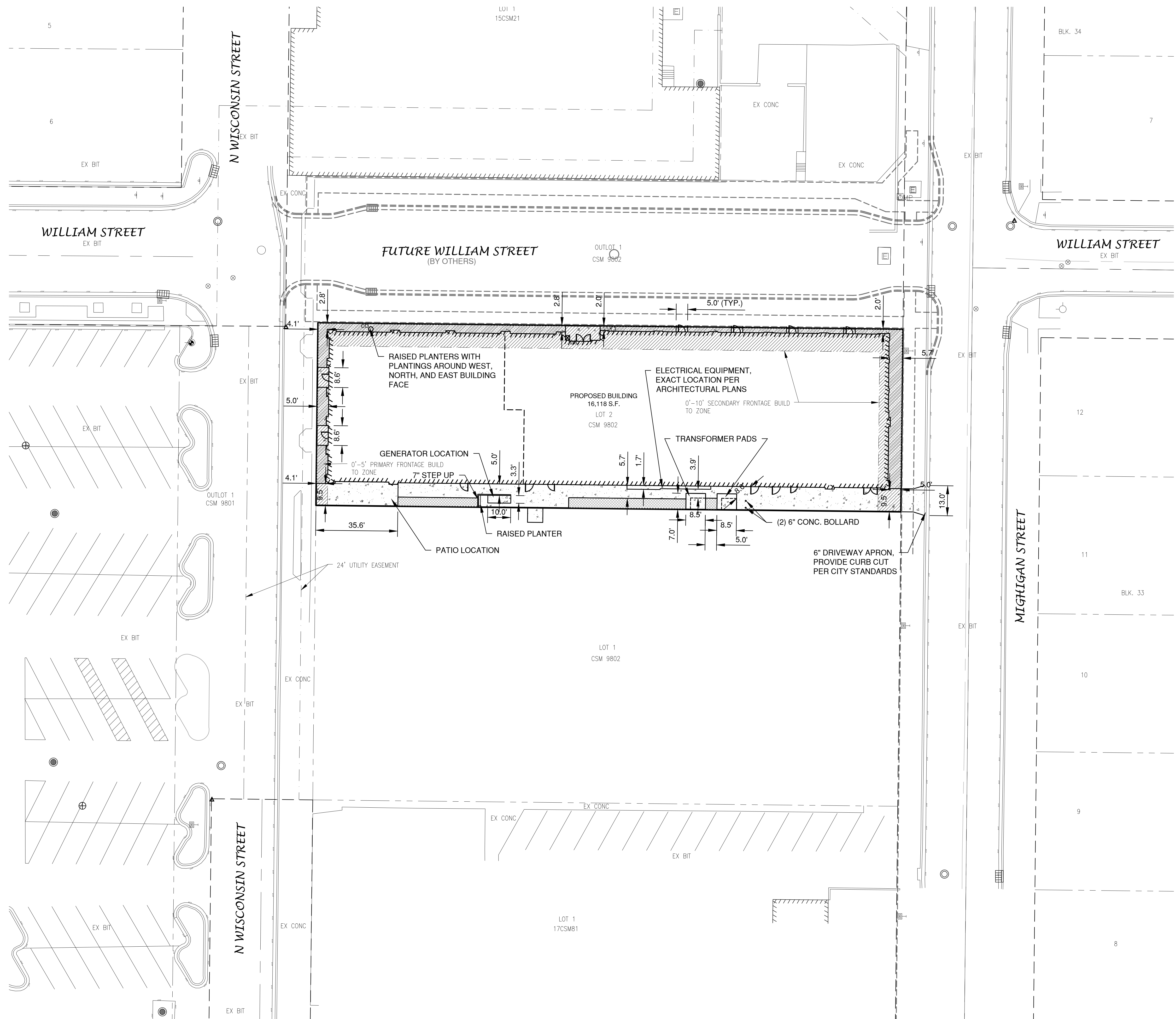


SCALE IN FEET

NO.		DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LIP	550 WEST MIXED USE FOR EUA CITY OF DE PERE BROWN COUNTY, WISCONSIN	EXISTING SITE CONDITIONS	DATE		 1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releecnr.com	SHEET NO.	
1		4-4-25	BDR	EARLY BID PACKAGE									CHECKED						FILE	C002
													DESIGNED						JOB NO.	
													BDR							



File: P:\343901\343901\343901-17.dwg Plot Date: Apr 24, 2025 8:11 am User: REL



- LEGEND**
- CONCRETE PAVEMENT
  - LANDSCAPE AREA
  - GREEN SPACE
  - WALL PACK

\*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

- NOTE**
- ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

**STEP BACK SETBACK**  
10' ZONING STEP BACK ABOVE THIRD STORY REQUIRED PER 14-33(4)(C)

**PARKING DATA**  
PARKING TO BE PROVIDED OFFSITE

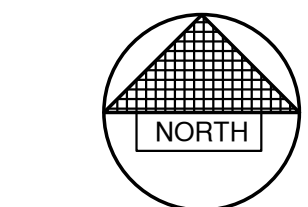
**SITE DATA**  
TOTAL AREA = 0.46 ACRES, 20,163 S.F.  
BUILDING AREA = 0.37 ACRES, 16,118 S.F. (80%)  
SIDEWALK AREA = 0.06 ACRES, 2,426 S.F. (12%)  
GREEN SPACE = 0.03 ACRES, 1,619 S.F. (8%)

**ZONING**  
MX1

**PARCEL NO.**  
ED-875-1

**CURRENT ADDRESS**  
230 N WISCONSIN ST

**PROPOSED ADDRESS**  
550 W WILLIAM ST



0' 20' 40'  
SCALE IN FEET

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
1	4-14-25	BDR	EARLY BID PACKAGE									LLP
												CHECKED
												DESIGNED
												BDR

550 WEST MIXED USE  
FOR EJA  
CITY OF DE PERE  
BROWN COUNTY, WISCONSIN

SITE PLAN

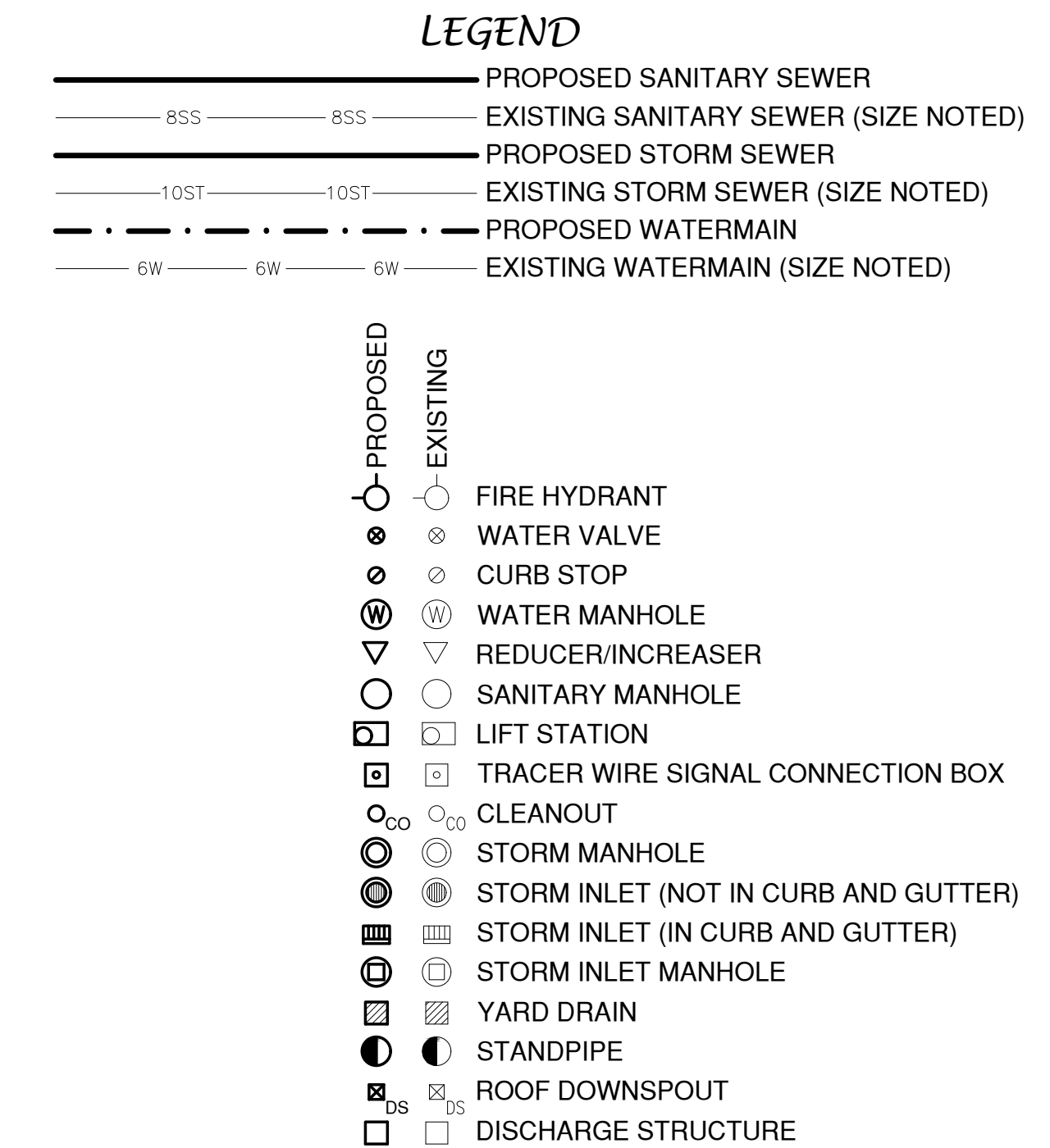
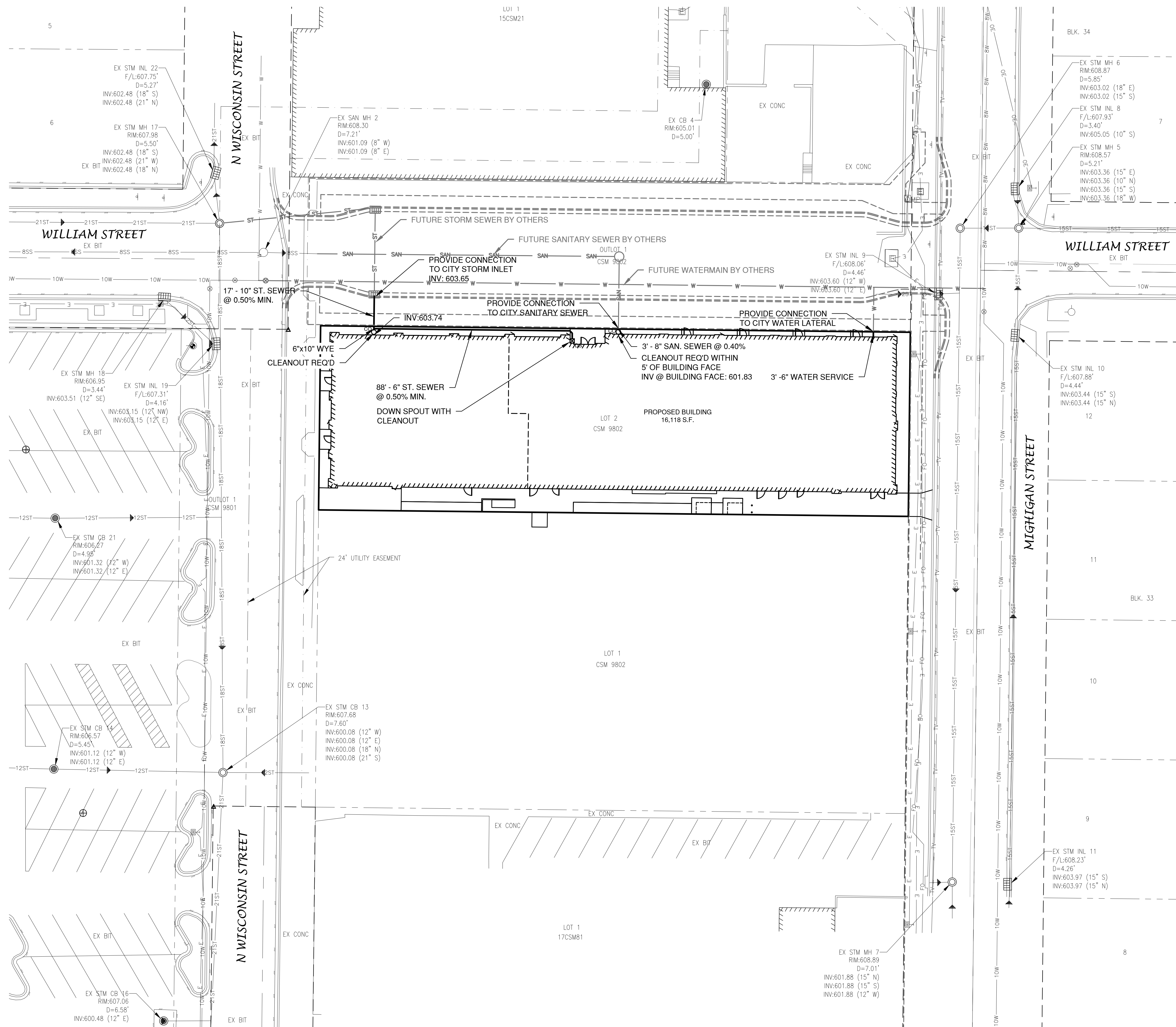
DATE	04/20/25
FILE	34390117D
JOB NO.	3439017

**REL Robert E. Lee**  
& Associates, Inc.  
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

SHEET NO.  
**C100**

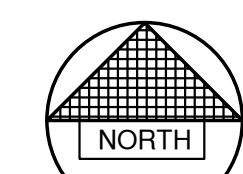


File: P:\3400\3430\3430017.dwg, 3/23/2025, 4:24:01 PM  
Plot Date: Apr 24, 2025, 4:24:01 PM  
User: JLE



**NOTE**

1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS SPS 381-387.
3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, **CONTACT ENGINEER**, PRIOR TO CONTINUED WORK.
4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
5. EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.



0' 20' 40'  
SCALE IN FEET

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	FILE	DATE	SHEET NO.
1	4-14-25	BDP	EARLY BID PACKAGE									CHECKED	3439017D	04/20/25	C101
												DESIGNED	3439017	JOB NO.	
												BDP	3439017	1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releecinc.com	

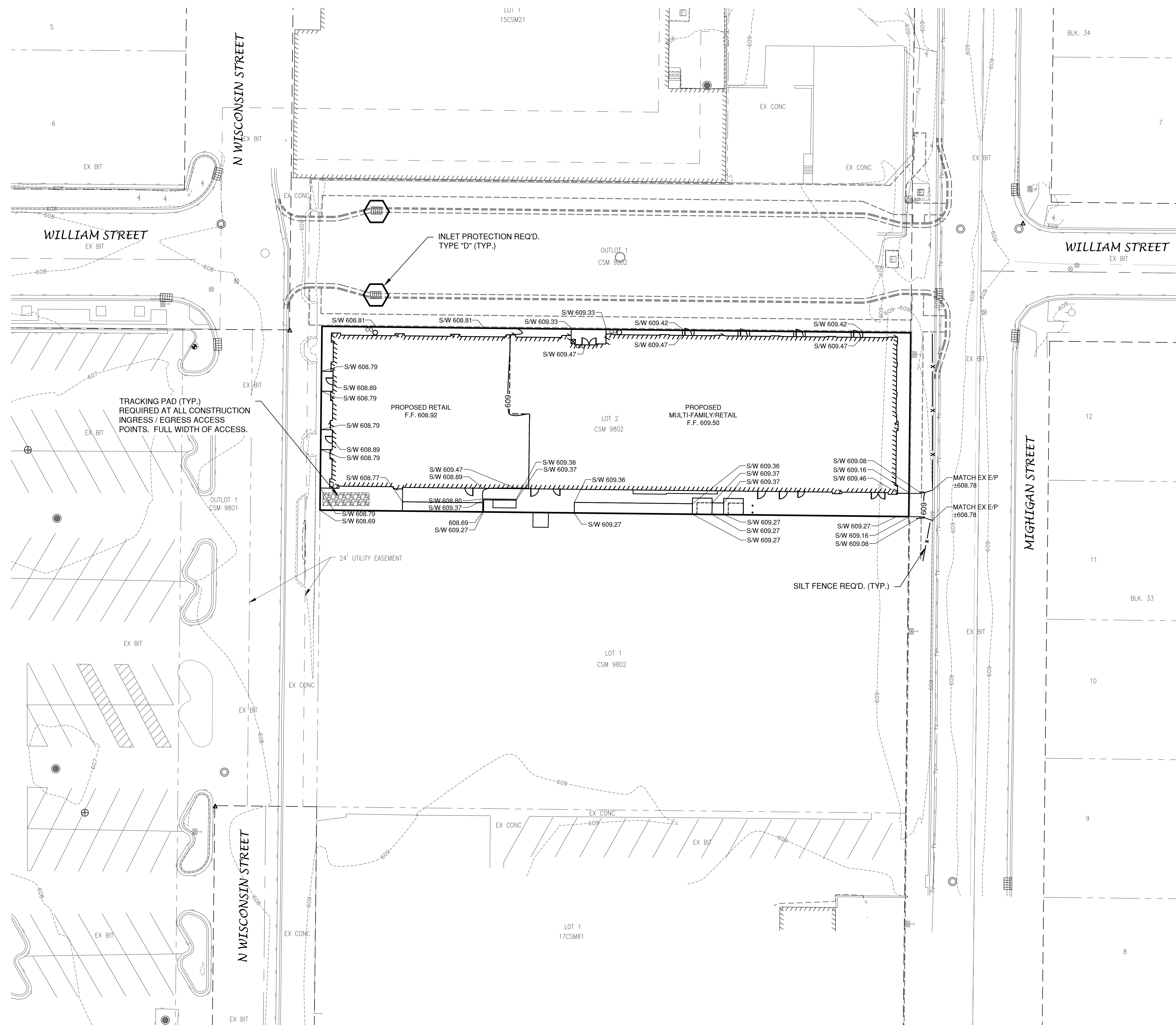
550 WEST MIXED USE  
FOR EJA  
CITY OF DE PERE  
BROWN COUNTY, WISCONSIN

UTILITY PLAN

**REL Robert E. Lee**  
& Associates, Inc.  
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releecinc.com



File: R:\3400\3430\3430017.dwg, 3/23/2025, 4:42:25 PM, 17.4m  
Plot Date: Apr 24, 2025, 4:42:25 PM, 17.4m  
LAYOUT: 11/11/25



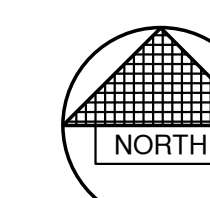
#### LEGEND

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- - - DRAINAGE DIVIDE
- FLOW ARROW
- x SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
- DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
- TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
- EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
- INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

#### EROSION CONTROL

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

- SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
- A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
- PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
- ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.



0' 20' 40'  
SCALE IN FEET

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
1	4-4-25	BDR	EARLY BID PACKAGE									LLP
												CHECKED
												DESIGNED
												BDR

550 WEST MIXED USE  
FOR EJA  
CITY OF DE PERE  
BROWN COUNTY, WISCONSIN

GRADING AND EROSION CONTROL PLAN

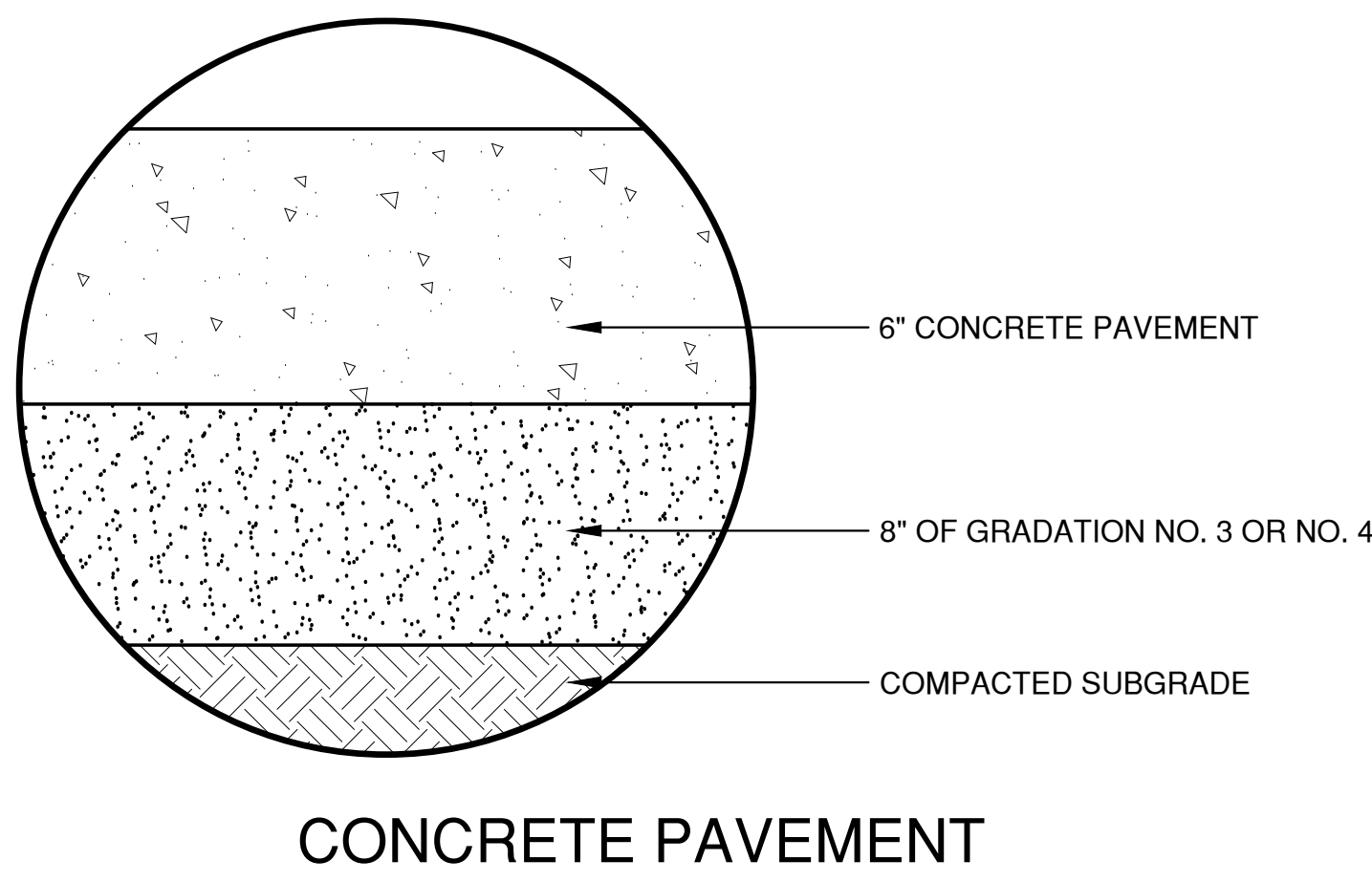
DATE  
04/20/25  
FILE  
3439017D  
JOB NO.  
3439017

**REL** Robert E. Lee  
& Associates, Inc.  
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

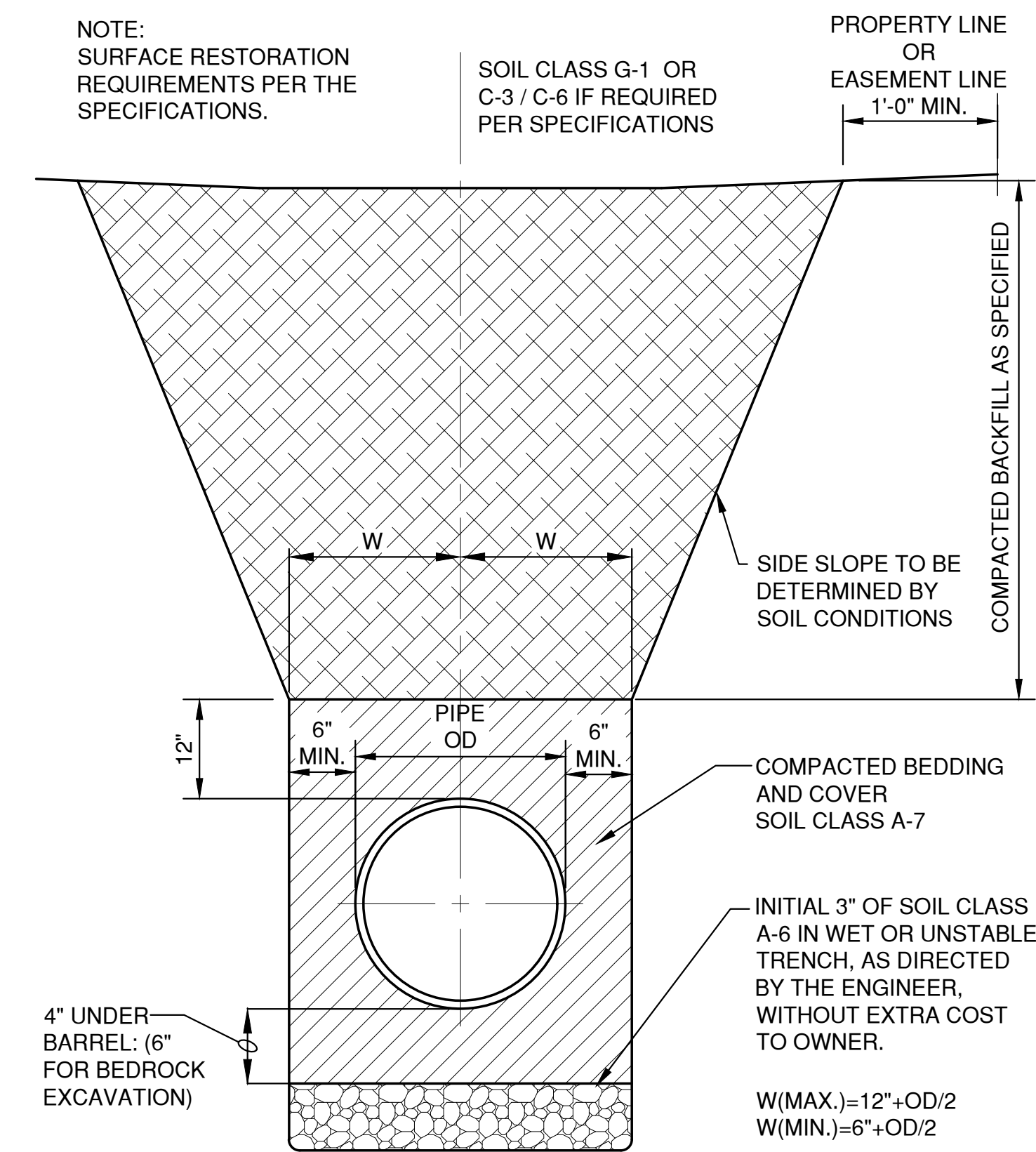
SHEET NO.  
**C102**



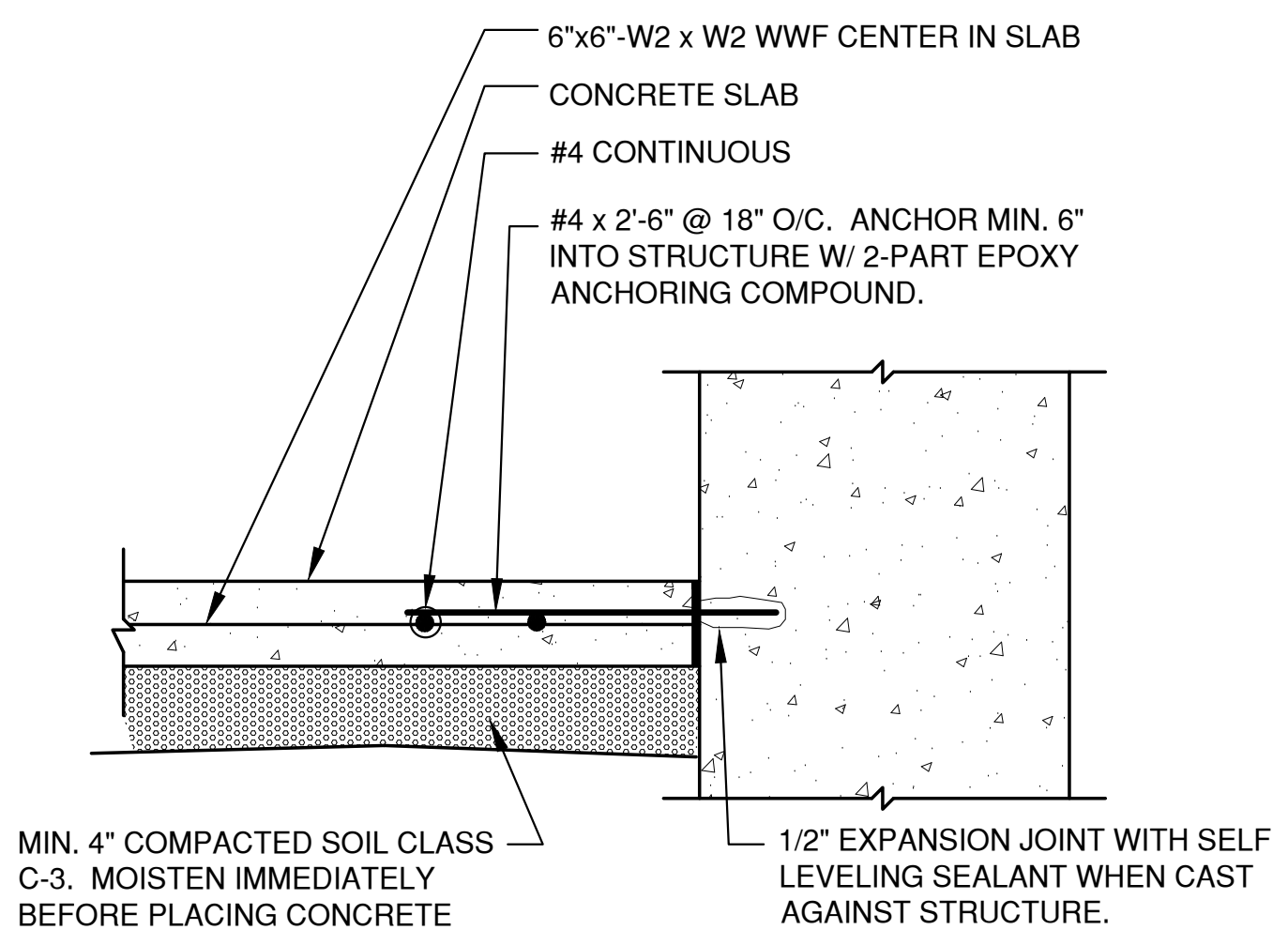
\\fs-3\work\4380\438017.dwg 14:00:17 04/24/2025 4:00:17  
Plot Date: Apr 22, 2025 4:00:17  
DWG: 438017.DWG



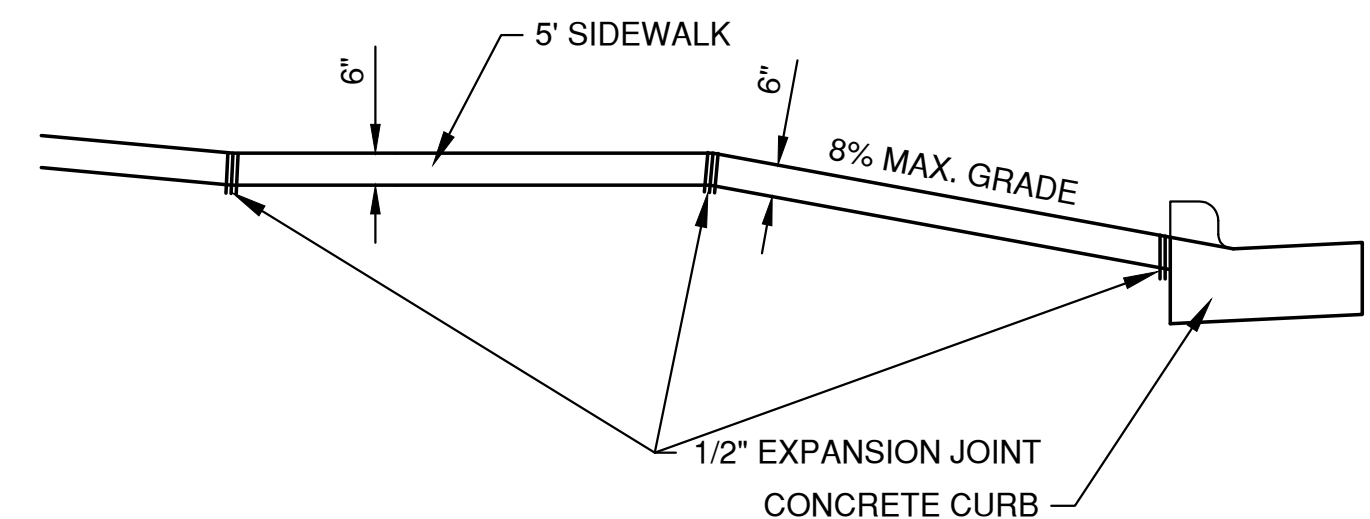
CONCRETE PAVEMENT



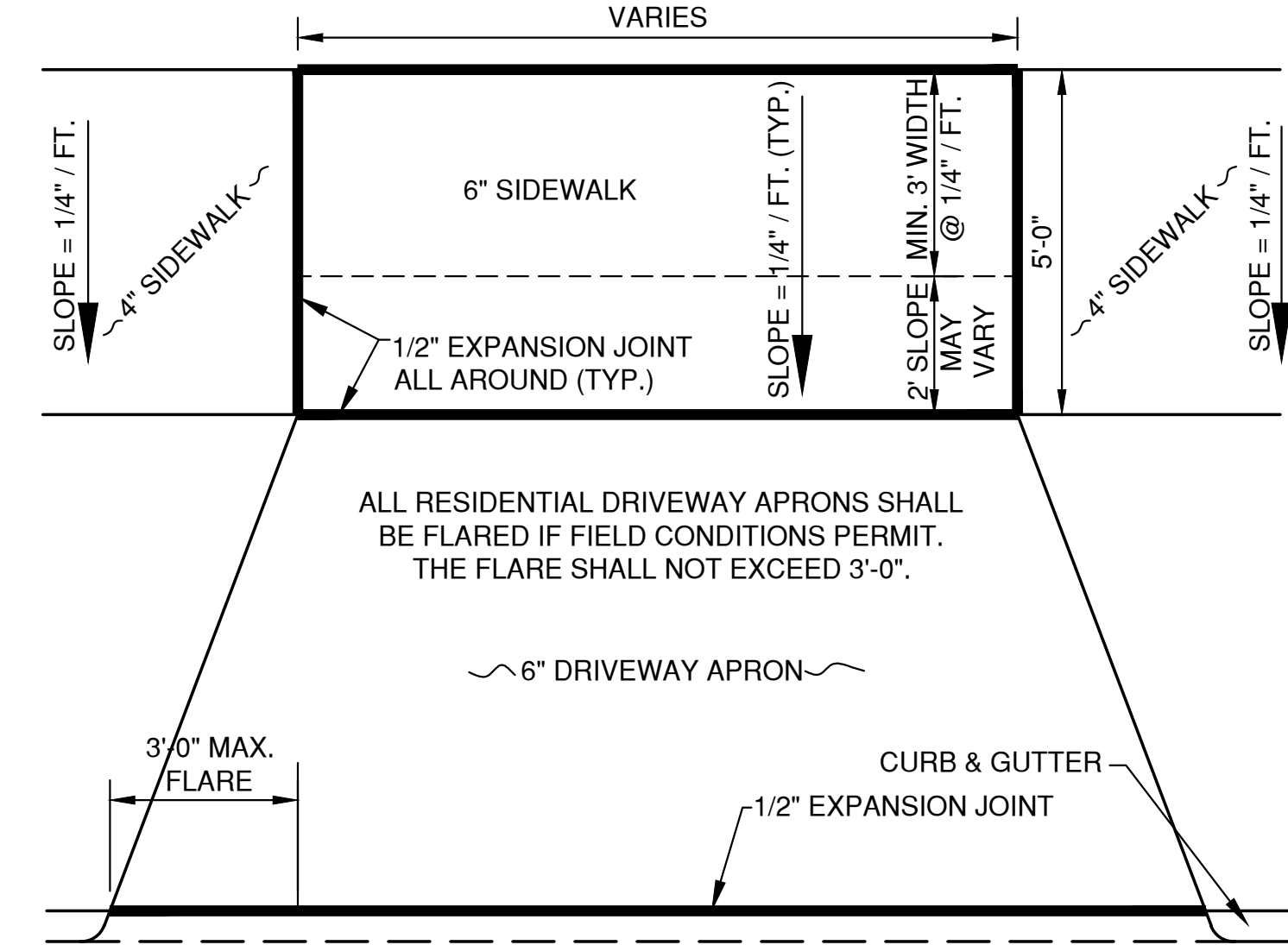
HDPE /PVC SEWER, WATERMAIN AND FORCEMAIN  
BEDDING AND TRENCH DETAIL



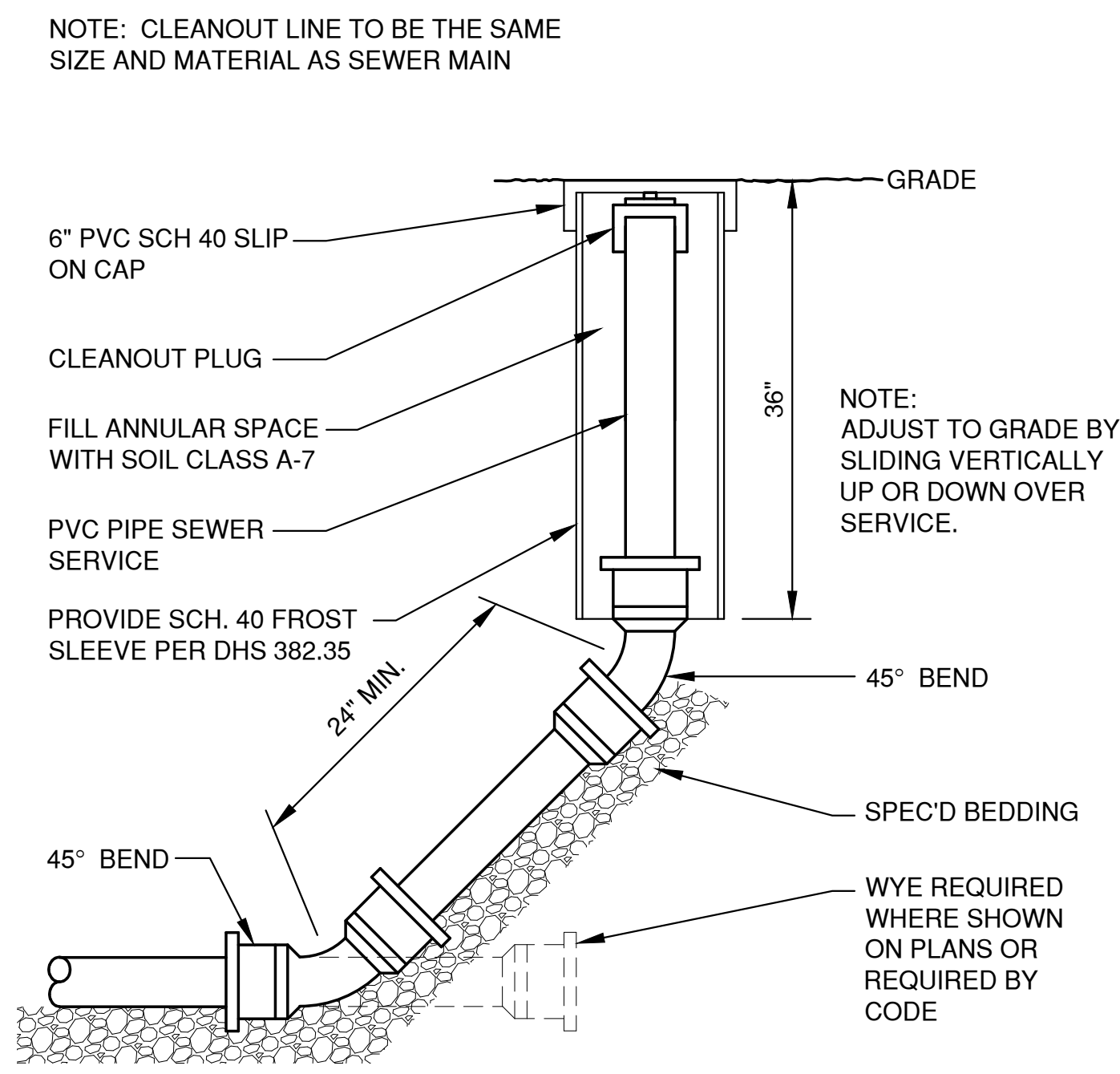
TYPICAL SIDEWALK ADJACENT  
TO STRUCTURE



1/2" EXPANSION MATERIAL WILL BE PLACED ON EACH SIDE OF THE DRIVE ABUTTING THE SIDEWALK. SIDEWALK AND DRIVEWAY APRON SHALL BE CONSTRUCTED SEPARATELY UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF PUBLIC WORKS.



DRIVEWAY APRON DETAIL



CLEAN-OUT DETAIL  
(NON-TRAVELED AREAS)

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	550 WEST MIXED USE FOR EJA CITY OF DE PERE BROWN COUNTY, WISCONSIN	MISCELLANEOUS DETAILS	DATE 04/20/25 FILE 1439017DET JOB NO. 1439017	SHEET NO. C500
1	4-4-25	BDR	EARLY BID PACKAGE									CHECKED				
												DESIGNED				
												BDR				



INLET PROTECTION NOTES:

INLET PROTECTION DEVICES SHALL BE IN ACCORDANCE WITH WDNMR TECHNICAL STANDARD 1060, STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

MAINTENANCE NOTES:

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

INSTALLATION NOTES:  
TYPE "B" AND "C"

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE "D"

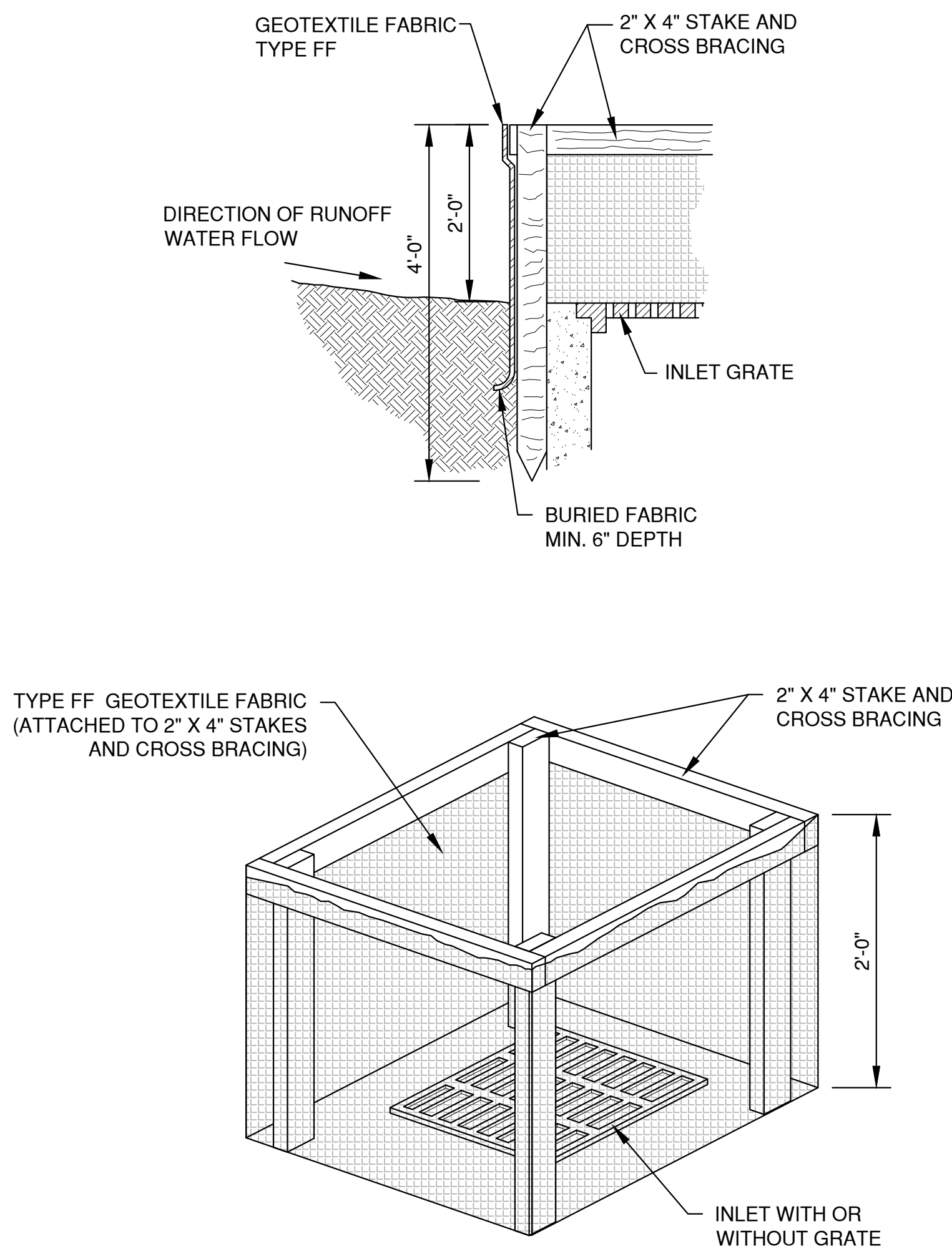
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

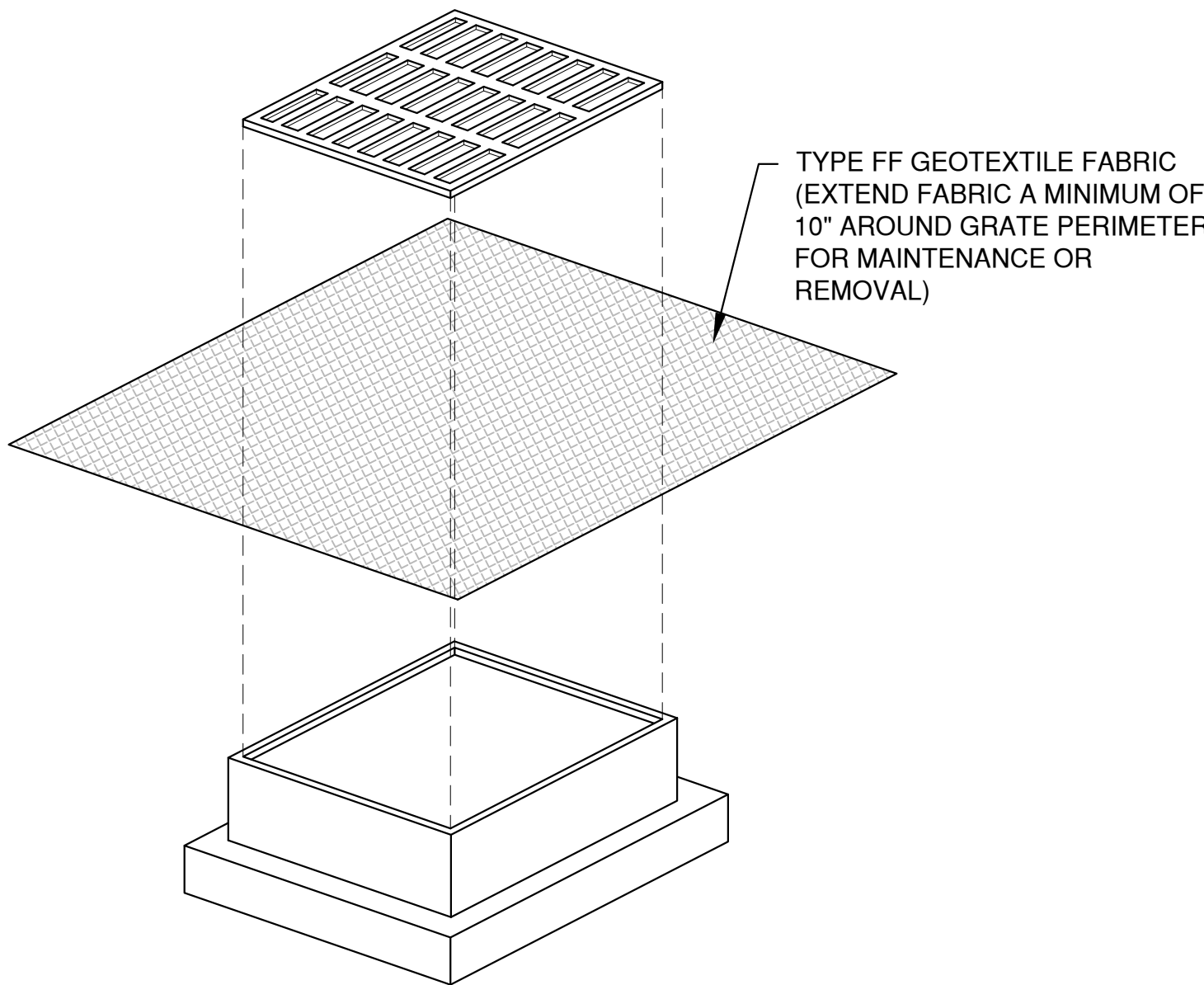
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE; THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

NOTES:

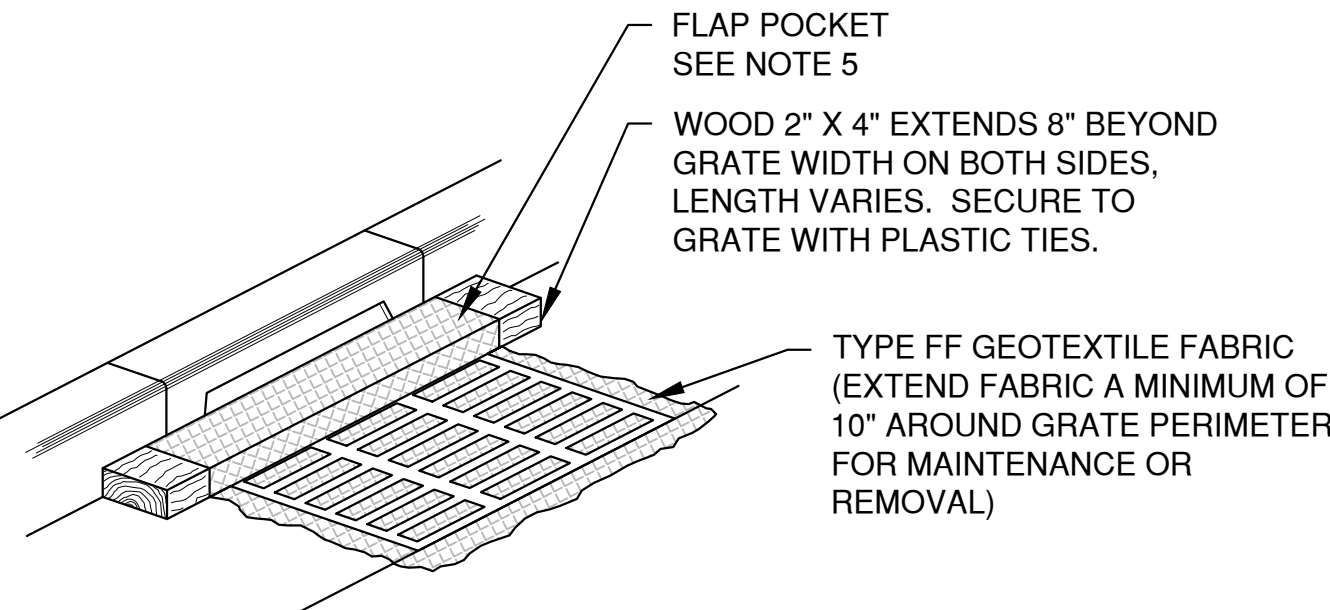
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF THE OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



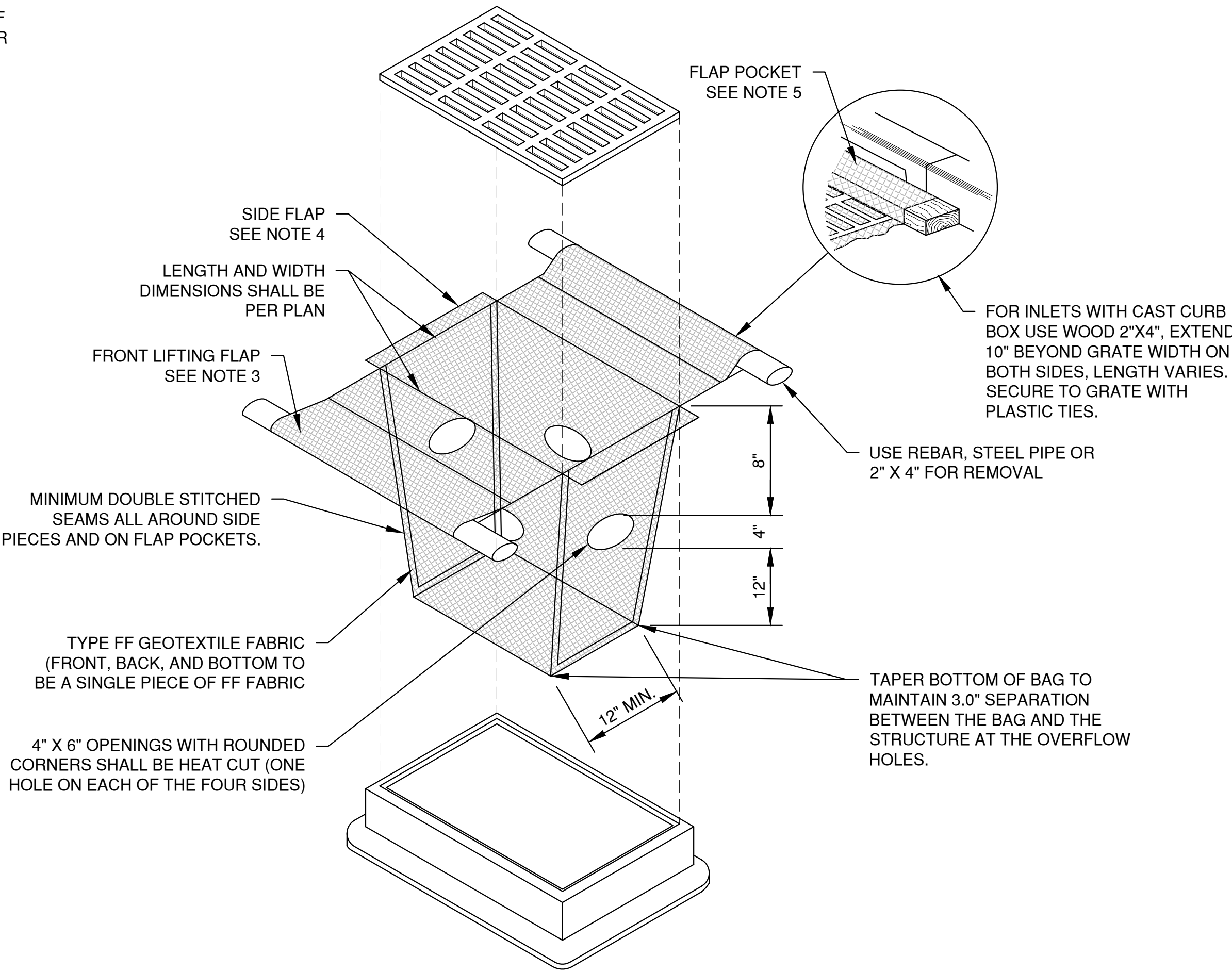
INLET PROTECTION, TYPE A



INLET PROTECTION, TYPE B  
(WITHOUT CURB BOX)  
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C  
(WITH CURB BOX)



INLET PROTECTION, TYPE D  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

File: R:\343901\343901.dwg Plot Date: Aug 12, 2025 8:15 am User: jlv



NOTES:

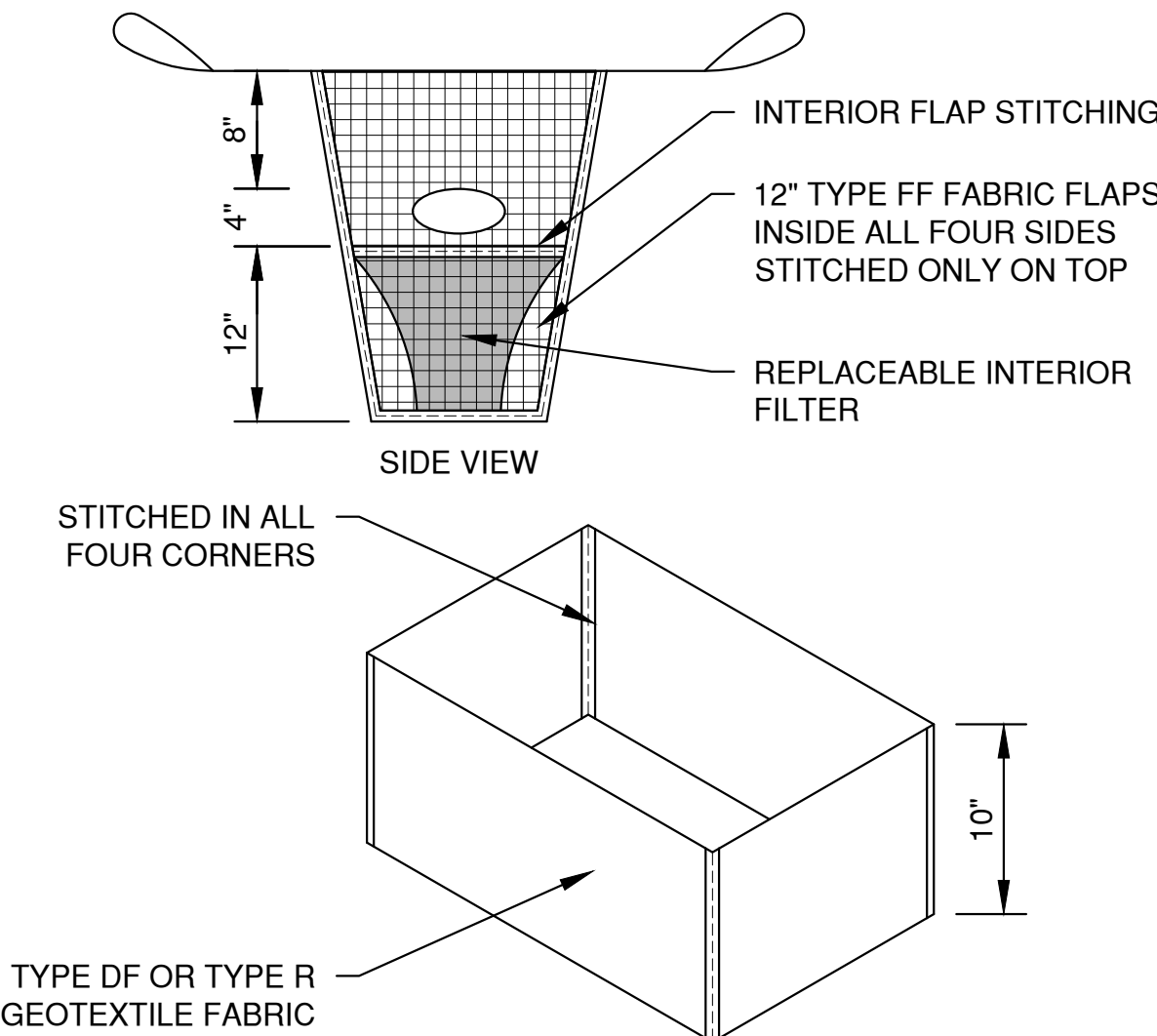
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

MAINTENANCE NOTES:

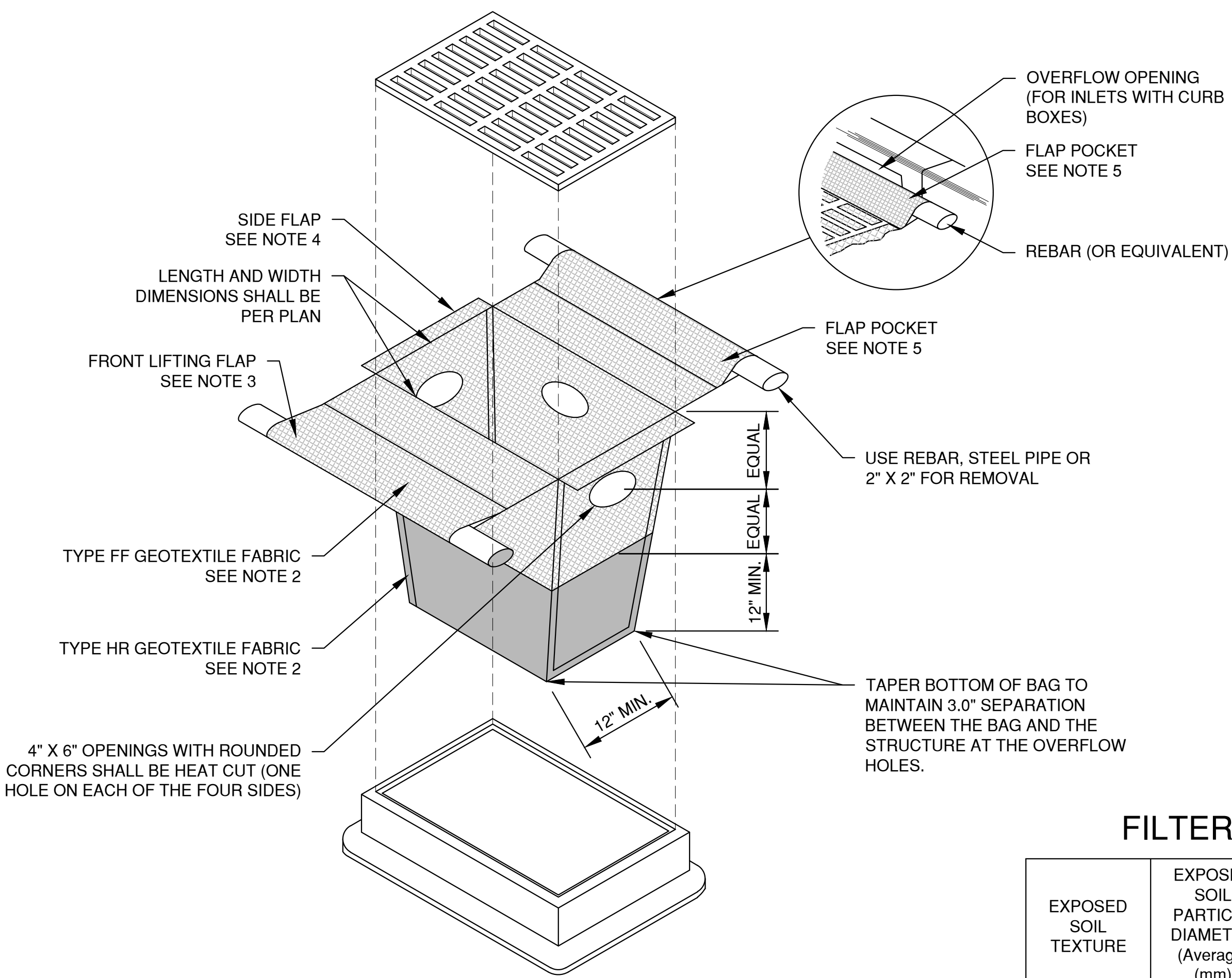
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

NOTES:

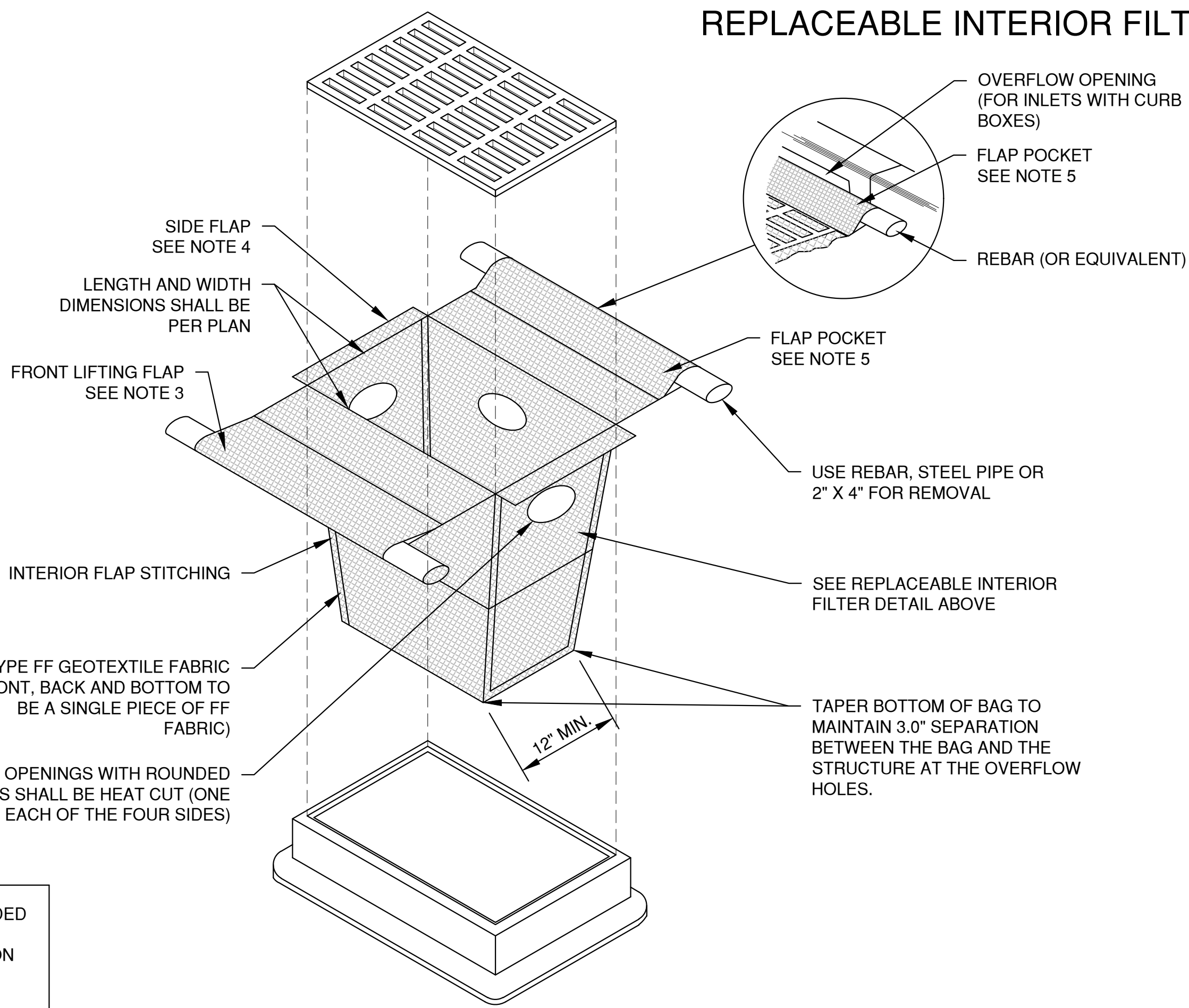
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



REPLACEABLE INTERIOR FILTER



INLET PROTECTION, TYPE D-HR  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)



INLET PROTECTION, TYPE D-M  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

FILTER FABRIC TYPE

EXPOSED SOIL TEXTURE	EXPOSED SOIL PARTICLE DIAMETER (Average) (mm)	FILTER FABRIC TYPE**	RECOMMENDED INLET PROTECTION DEVICE TYPE
COARSE (SAND)	≥ 0.0625	FF	D, D-M
MEDIUM (SILT LOAM)	0.0624 - 0.005	DF	D, D-M
FINE (CLAY)	≤ 0.004	R	D-M
		HR	D-HR

\* DF, R OR HR FILTERS MAY BE USED WHERE FF IS THE REQUIRED MINIMUM STANDARD. R OR HR MAY BE USED WHERE DF IS THE REQUIRED MINIMUM STANDARD.

\*\* FOLLOW DESIGN CRITERIA OF WDNR TECHNICAL STANDARD 1060

File: P:\34500\34500-34500-17.dwg, 34500-17.dwg  
Plot Date: Aug 12, 2025, 4:11 PM  
User: jlee

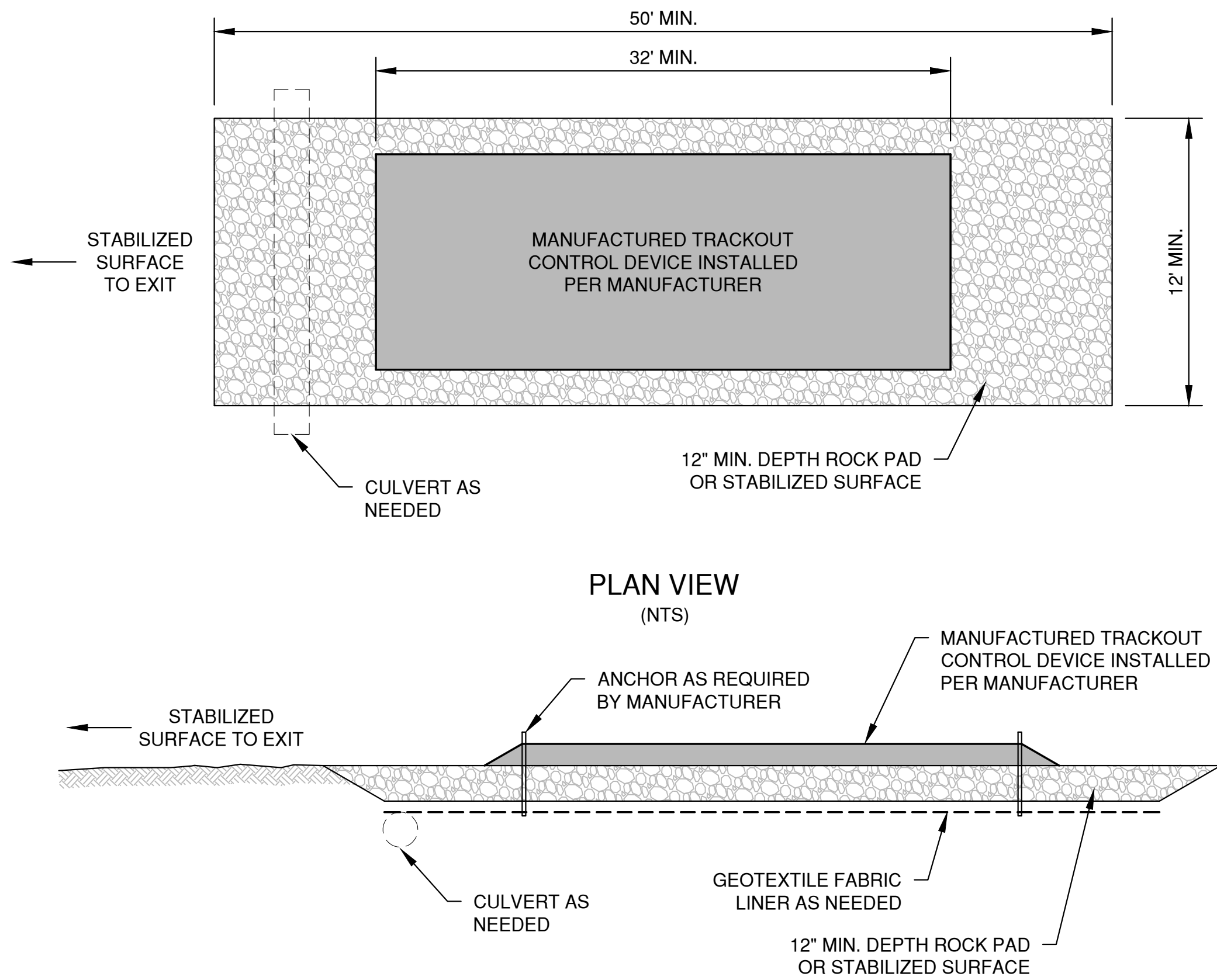






I:\Projects\2025\25001\25001.dwg  
Plot Date: Apr 22, 2025 4:11 PM  
User: jll

\* TRACKOUT CONTROL TO BE PROVIDED PER DETAILS BELOW AND IN ACCORDANCE WITH WDNr TECHNICAL STANDARD 1057

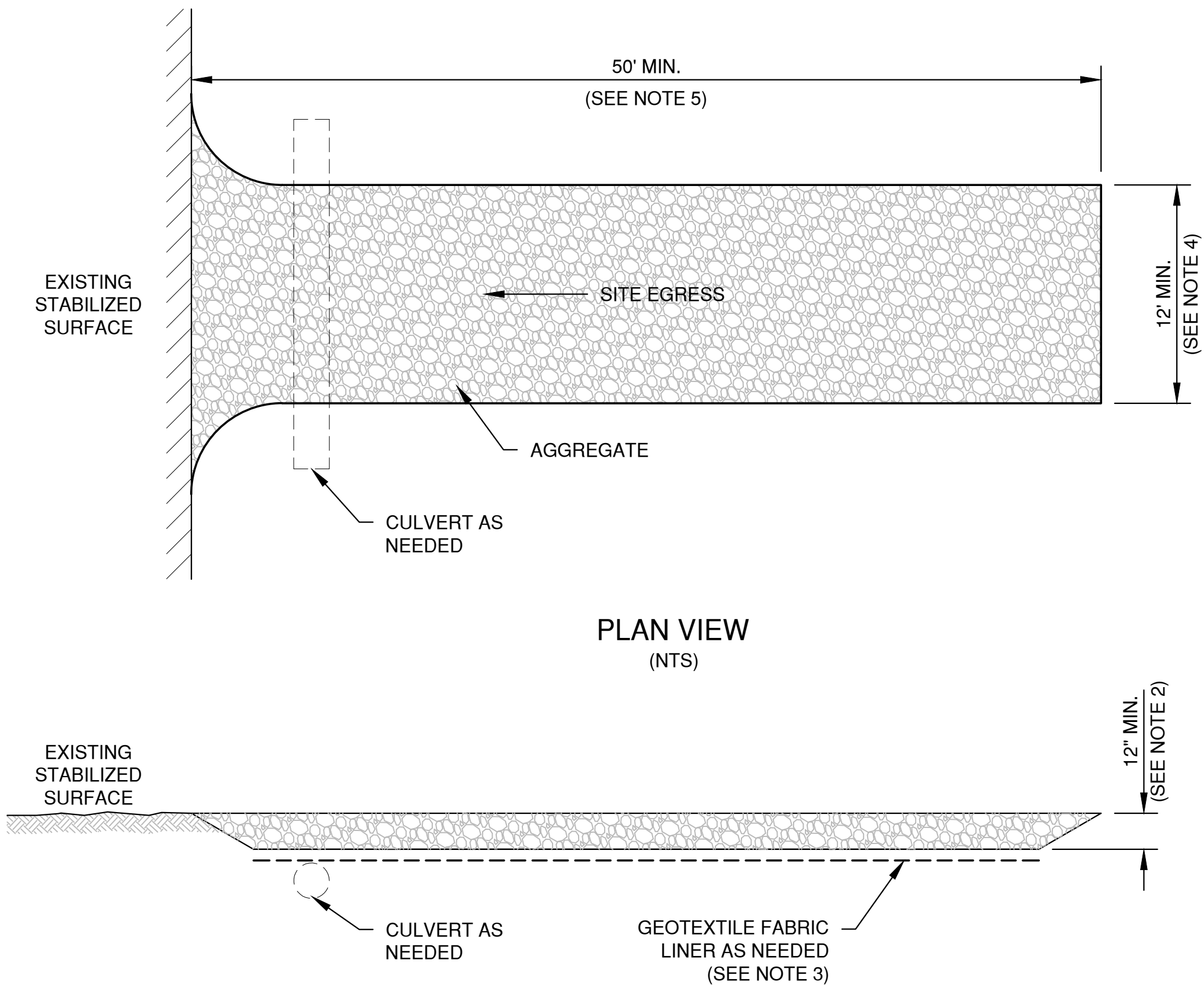


SECTION VIEW

NOTES:

1. THIS DETAIL IS PROVIDED AS AN EXAMPLE. COMPLY WITH MANUFACTURER'S SPECIFICATIONS WHILE ALSO MEETING THE MINIMUM MANUFACTURED TRACKING PAD LENGTH AND WIDTH DESCRIBED IN THIS TECHNICAL STANDARD.
2. INSTALL SUCH THAT RUNOFF FLOWS TO AN APPROVED TREATMENT PRACTICE.
3. A THINNER STONE LAYER OR OTHER STABLE SURFACE MAY BE ACCEPTABLE SUCH THAT RUTTING IS MINIMIZED AS VEHICLES MOUNT OR DISMOUNT FROM THE MANUFACTURERS TRACKOUT CONTROL DEVICE.
4. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
5. DIRECT ALL EXISTING VEHICLES OVER MANUFACTURED TRACKOUT CONTROL DEVICE. STONE TRACKING PAD INSTALLATION ACROSS REMAINING ACCESS WIDTH IS RECOMMENDED. A 12' MINIMUM CAN BE USED WHEN EXITING TRAFFIC IS RESTRICTED TO A DEDICATED EGRESS LANE.
6. IF MINIMUM INSTALLATION LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.
7. ACCOMMODATE EXITING VEHICLES IN EXCESS OF MANUFACTURED TRACKOUT CONTROL DEVICE WEIGHT CAPACITY WITH OTHER TREATMENT PRACTICES.

MANUFACTURED TRACKOUT CONTROL DETAIL



PLAN VIEW  
(NTS)

SECTION VIEW

NOTES:

1. USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE, MEETING THE FOLLOWING GRADATION:

SIEVE SIZE:	PERCENT BY WEIGHT PASSING:
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5
2. SLOPE THE STONE TRACKING PAD IN A MANNER TO DIRECT RUNOFF TO AN APPROVED TREATMENT PRACTICE.
3. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
4. INSTALL TRACKING PAD ACROSS FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXISTING TRAFFIC TO A DEDICATED EGRESS LANE AT LEAST 12 FEET WIDE ACROSS THE TOP OF THE PAD.
5. IF A 50' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.

STONE TRACKING PAD DETAIL

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	500 WEST MIXED USE FOR EJA CITY OF DE PERE BROWN COUNTY, WISCONSIN	EROSION CONTROL TRACKOUT CONTROL PRACTICES	DATE 04/20/25 FILE 2439017EC JOB NO. 2439017	SHEET NO. C504
1	4-4-25	BDR	EARLY BID PACKAGE									CHECKED				
												DESIGNED				
												BDR				





---

# 550 WEST MIXED USE

550 William St, DePere WI 54115



---

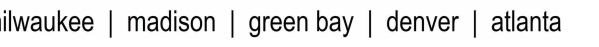
## CONSTRUCTION DOCUMENTS

APRIL 25, 2025

PROJECT NUMBER: 924382

© 2025 Epstein Uhen Architects, Inc.





## PROJECT INFORMATION

b 550 William St,  
DePere WI 54115

## ISSUANCE AND REVISIONS

DATE	DESCRIPTION
------	-------------

## KEY PLAN

SHEET INFORMATION

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PJ

PROJECT NUMBER 924382

1ST FLR PLAN

2025 Eppstein Uhen Architects, Inc.

A. BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.

B. ALL DIMENSION STRINGS ARE STUD TO STUD, UNLESS NOTED OTHERWISE.

C. VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO TENSION CABLES AND OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE WITH **OWNER** AND **CONTRACTOR** REPRESENTATIVE(S) - BUILDING FACILITY MANAGER. >

D. REFER TO SHEET **A-000** FOR REFERENCED PARTITION DETAILS AND DETAILS. WALLS NOT TAGGED ON THESE PLANS SHALL BE PARTITION TYPE **SSA-511**.

E. PROVIDE MORTAR- AND MOLD-RESISTANT GYPSUM BOARD AT THE FOLLOWING LOCATIONS:

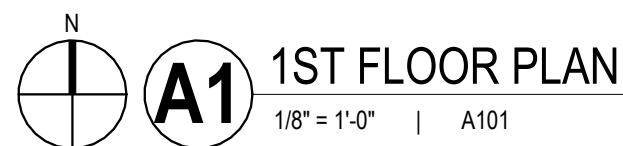
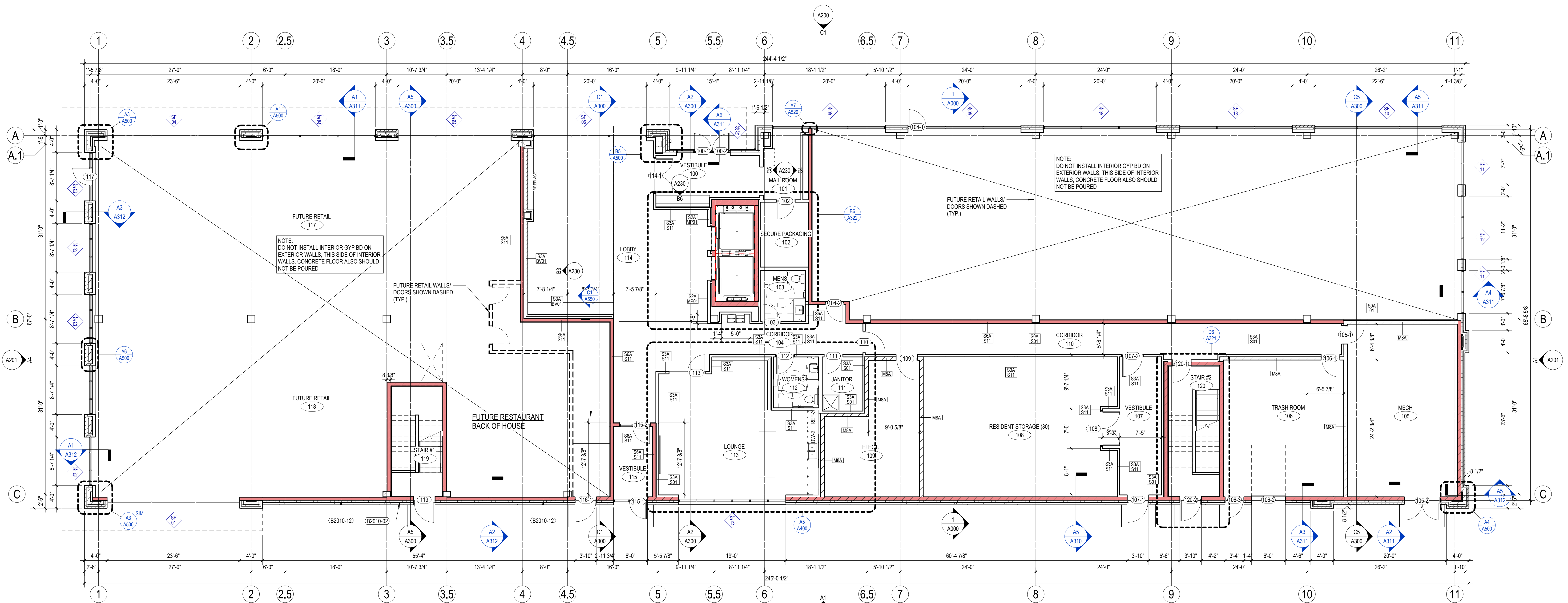
- ENTIRE WALL DIRECTLY BEHIND OR ADJACENT TO ANY PLUMBING FIXTURE INCLUDING, BUT NOT LIMITED TO, WATER CLOSETS, SHOWERS, DRINKING FOUNTAINS, SINKS, LAVATORIES AND ELEVATOR SHES.
- ALL WALLS OF AREAS INCLUDING, BUT NOT LIMITED TO, SINGLE OCCUPANT TOILET ROOMS, JANITOR CLOSETS, SWIMMING POOLS, THERAPY POOLS, COMMERCIAL KITCHENS, DISHWASHING, ETC.
- WHERE CERAMIC TILE OR SOLID SURFACE WALL CLADDING IS SCHEDULED. PROVIDE CEMENT BOARD BACKER BOARD IN LIEU OF GYPSUM BOARD.

F. LOCATE ALL DOOR JAMBS "A" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.

G. PROVIDE BLOCKING IN WALLS AS REQUIRED FOR NEW MILLWORK, CASEWORK, DOR BUMPERS, ACCESSORIES, EQUIPMENT, FIXTURES, AND **OWNER'S**-**TENANT'S** WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO, TELEVISIONS/MONITORS, MARKER BOARDS, TACK BOARD(S) AND OTHER EXISTING WALL MOUNTED EQUIPMENT. NOTING CONCERNING BLOCKING (WHERE REQUIRED) AND PATCH WALLS TO MATCH EXISTING CONSTRUCTION. COORDINATE WITH **OWNER** AND **TENANT** ON LOCATIONS OF WALL-MOUNTED EQUIPMENT.

H. PROVIDE 3/4" FIRE-RETARDANT TREATED PL YWOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT AT **ROOM NAME AND NUMBER** - INSTALL AT 1'-0" AFF TO FINISHED CEILING. PAINT PL YWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH **TENANT** - **OWNER**.

32010-02	2" CORRUGATED METAL WALL PANEL, BOARD INSULATION, AIR BARRIER, CONCRETE MASONRY UNITS
32010-12	RIBBED METAL WALL PANEL, BOARD INSULATION, AIR BARRIER, SHEATHING, METAL STUD FRAMING, GYPSUM WALLBOARD







milwaukee | madison | green bay | denver | atlanta

E

- FLOOR PLAN NOTES
- A.

BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- B.

ALL DIMENSION STRINGS ARE STUD TO STUD, UNLESS NOTED OTHERWISE.
- C.

VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH <OWNER><OWNER REPRESENTATIVE><BUILDING FACILITY MANAGER>
- D.

REFER TO SHEET <A000> FOR REFERENCED PARTITION TYPES AND DETAILS. WALLS NOT TAGGED ON THESE PLANS SHALL BE PARTITION TYPE <S3A-S11>
- E.

PROVIDE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD AT THE FOLLOWING LOCATIONS:
  - ENTIRE WALL DIRECTLY BEHIND OR ADJACENT TO ANY PLUMBING FIXTURE INCLUDING, BUT NOT LIMITED TO, WATER CLOSETS, SHOWERS, DRINKING FOUNTAINS, SINKS, LAVATORIES AND EYEWASHES.
  - ALL WALLS OF AREAS INCLUDING, BUT NOT LIMITED TO, SINGLE OCCUPANT TOILET ROOMS, JANITOR CLOSETS, SWIMMING POOLS, THERAPY POOLS, COMMERCIAL KITCHENS, DISHWASHING, ETC.
  - WHERE CERAMIC TILE OR SOLID SURFACE WALL CLADDING IS SCHEDULED, PROVIDE CEMENT BOARD BACKER BOARD IN LIEU OF GYPSUM BOARD.
- F.

LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- G.

PROVIDE BLOCKING IN WALLS AS REQUIRED FOR NEW MILLWORK, CASEWORK, DOOR BUMPERS, ACCESSORIES, EQUIPMENT, FIXTURES, AND <OWNERS><TENANT> WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO, TELEVISIONS/MONITORS, MARKER BOARDS, TACK BOARDS AND SIGNAGE. OPEN EXISTING WALLS AS NEEDED TO INSTALL CONCEALED BLOCKING WHERE REQUIRED, AND PATCH WALLS TO MATCH EXISTING CONSTRUCTION. COORDINATE WITH <OWNER><TENANT> ON LOCATIONS OF WALL-MOUNTED EQUIPMENT.
- H.

PROVIDE 3/4" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT AT <ROOM NAME AND NUMBER> INSTALL AT 1'-0" AFF TO FINISHED CEILING. PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH <TENANT><OWNER>

KEYNOTES PER SHEET

0559-01	5' X 10' PREFINISHED ALUMINUM BALCONY WITH ANGLED SUPPORT RODS
0559-02	PREFINISHED JULIET STYLE BALCONY RAILING
1073-01	PREFABRICATED METAL CANOPY WITH SUPPORTS

PROJECT INFORMATION

550 WEST MIXED  
USE

D 550 William St,  
DePere WI 54115

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
------	-------------

C

KEY PLAN

B

SHEET INFORMATION

PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PJ

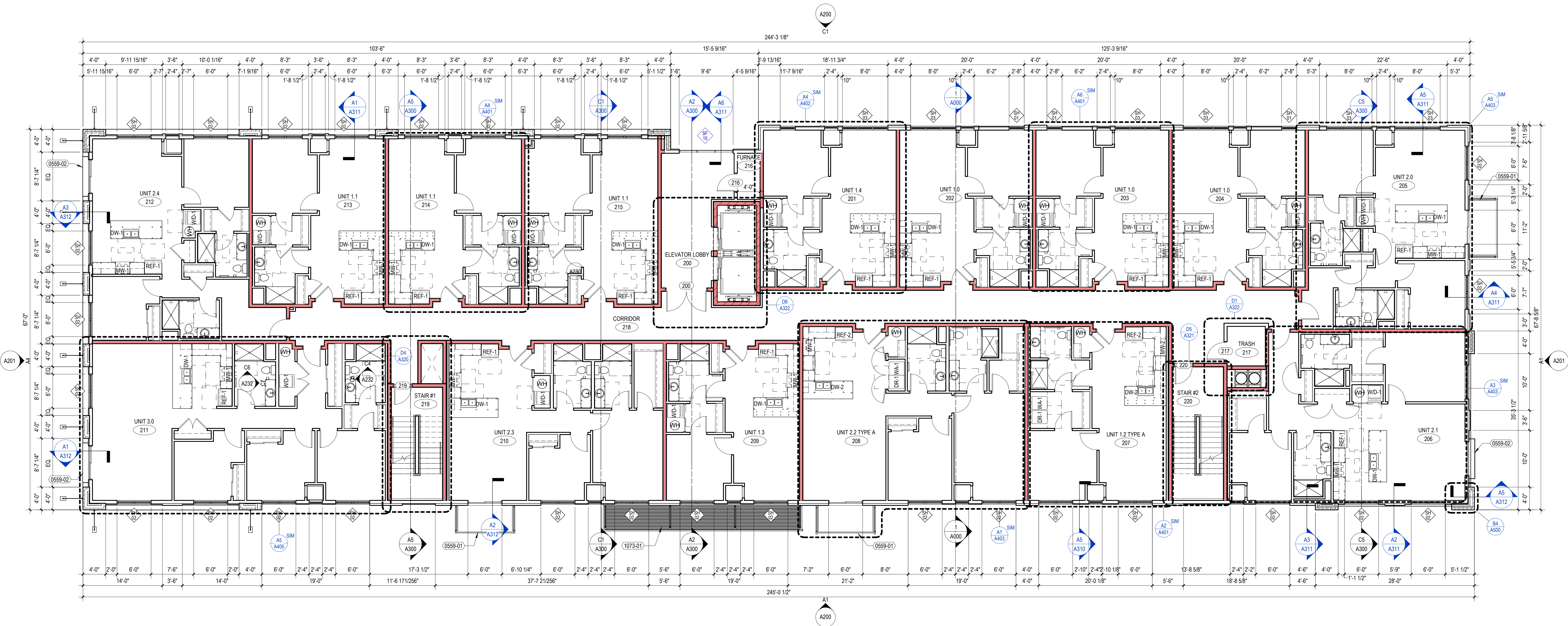
PROJECT NUMBER 924382

A

2ND FLR PLAN

A102

© 2025 Epstein Uhen Architects, Inc.



N  
A1 2ND FLR PLAN  
1/8" = 1'-0" | A102

1

2

3

4

5

6

7



FLOOR PLAN NOTES

- A. BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- B. ALL DIMENSION STRINGS ARE STUD TO STUD, UNLESS NOTED OTHERWISE.
- C. VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH <OWNER><OWNER REPRESENTATIVE><BUILDING FACILITY MANAGER>
- D. REFER TO SHEET <A000> FOR REFERENCED PARTITION TYPES AND DETAILS. WALLS NOT TAGGED ON THESE PLANS SHALL BE PARTITION TYPE <S3A-S11>
- E. PROVIDE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD AT THE FOLLOWING LOCATIONS:
- ENTIRE WALL DIRECTLY BEHIND OR ADJACENT TO ANY PLUMBING FIXTURE INCLUDING, BUT NOT LIMITED TO, WATER CLOSETS, SHOWERS, DRINKING FOUNTAINS, SINKS, LAVATORIES AND EYEWASHES.
  - ALL WALLS OF AREAS INCLUDING, BUT NOT LIMITED TO, SINGLE OCCUPANT TOILET ROOMS, JANITOR CLOSETS, SWIMMING POOLS, THERAPY POOLS, COMMERCIAL KITCHENS, DISHWASHING, ETC.
  - WHERE CERAMIC TILE OR SOLID SURFACE WALL CLADDING IS SCHEDULED, PROVIDE CEMENT BOARD BACKER BOARD IN LIEU OF GYPSUM BOARD.
- F. LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- G. PROVIDE BLOCKING IN WALLS AS REQUIRED FOR NEW MILLWORK, CASEWORK, DOOR BUMPERS, ACCESSORIES, EQUIPMENT, FIXTURES, AND <OWNERS><TENANT> WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO, TELEVISIONS/MONITORS, MARKER BOARDS, TACK BOARDS AND SIGNAGE. OPEN EXISTING WALLS AS NEEDED TO INSTALL CONCEALED BLOCKING WHERE REQUIRED, AND PATCH WALLS TO MATCH EXISTING CONSTRUCTION. COORDINATE WITH <OWNER><TENANT> ON LOCATIONS OF WALL-MOUNTED EQUIPMENT.
- H. PROVIDE 3/4" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT AT <ROOM NAME AND NUMBER> INSTALL AT 1'-0" AFF TO FINISHED CEILING. PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH <TENANT><OWNER>

KEYNOTES PER SHEET

PROJECT INFORMATION

550 WEST MIXED  
USE

550 William St,  
DePere WI 54115

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
------	-------------

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**

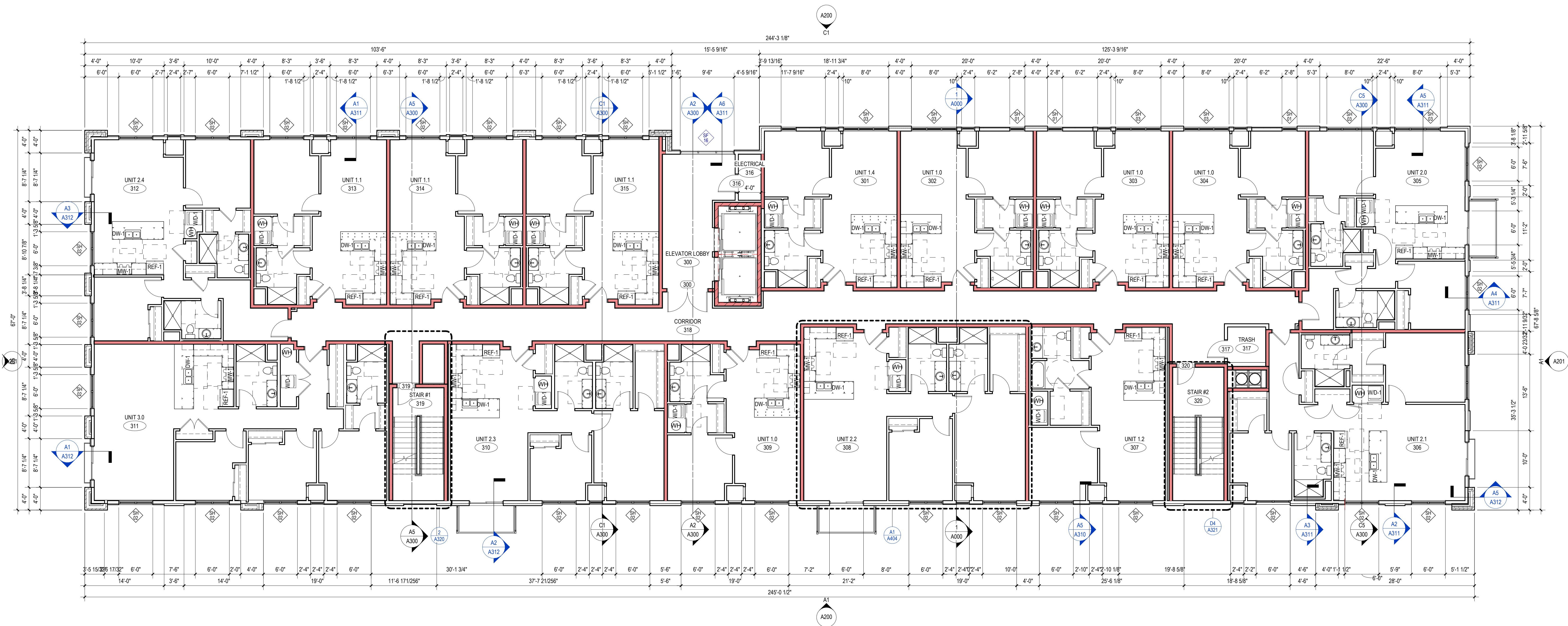
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PJ  
PROJECT NUMBER 924382

3RD FLR PLAN

A103

© 2025 Epstein Uhan Architects, Inc.



3RD FLR PLAN  
1/8" = 1'-0" | A103

1

2

3

4

5

6

7



FLOOR PLAN NOTES

- A. BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- B. ALL DIMENSION STRINGS ARE STUD TO STUD, UNLESS NOTED OTHERWISE.
- C. VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH <OWNER><OWNER REPRESENTATIVE><BUILDING FACILITY MANAGER>
- D. REFER TO SHEET <A000> FOR REFERENCED PARTITION TYPES AND DETAILS. WALLS NOT TAGGED ON THESE PLANS SHALL BE PARTITION TYPE <S3A-S11>
- E. PROVIDE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD AT THE FOLLOWING LOCATIONS:
- ENTIRE WALL DIRECTLY BEHIND OR ADJACENT TO ANY PLUMBING FIXTURE INCLUDING, BUT NOT LIMITED TO, WATER CLOSETS, SHOWERS, DRINKING FOUNTAINS, SINKS, LAVATORIES AND EYEWASHES.
  - ALL WALLS OF AREAS INCLUDING, BUT NOT LIMITED TO, SINGLE OCCUPANT TOILET ROOMS, JANITOR CLOSETS, SWIMMING POOLS, THERAPY POOLS, COMMERCIAL KITCHENS, DISHWASHING, ETC.
  - WHERE CERAMIC TILE OR SOLID SURFACE WALL CLADDING IS SCHEDULED, PROVIDE CEMENT BOARD BACKER BOARD IN LIEU OF GYPSUM BOARD.
- F. LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- G. PROVIDE BLOCKING IN WALLS AS REQUIRED FOR NEW MILLWORK, CASEWORK, DOOR BUMPERS, ACCESSORIES, EQUIPMENT, FIXTURES, AND <OWNERS><TENANT>S WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO, TELEVISIONS/MONITORS, MARKER BOARDS, TACK BOARDS AND SIGNAGE. OPEN EXISTING WALLS AS NEEDED TO INSTALL CONCEALED BLOCKING WHERE REQUIRED, AND PATCH WALLS TO MATCH EXISTING CONSTRUCTION. COORDINATE WITH <OWNER><TENANT> ON LOCATIONS OF WALL-MOUNTED EQUIPMENT.
- H. PROVIDE 3/4" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT AT <ROOM NAME AND NUMBER> INSTALL AT 1'-0" AFF TO FINISHED CEILING. PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH <TENANT><OWNER>

KEYNOTES PER SHEET

PROJECT INFORMATION

550 WEST MIXED  
USE

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
------	-------------

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**

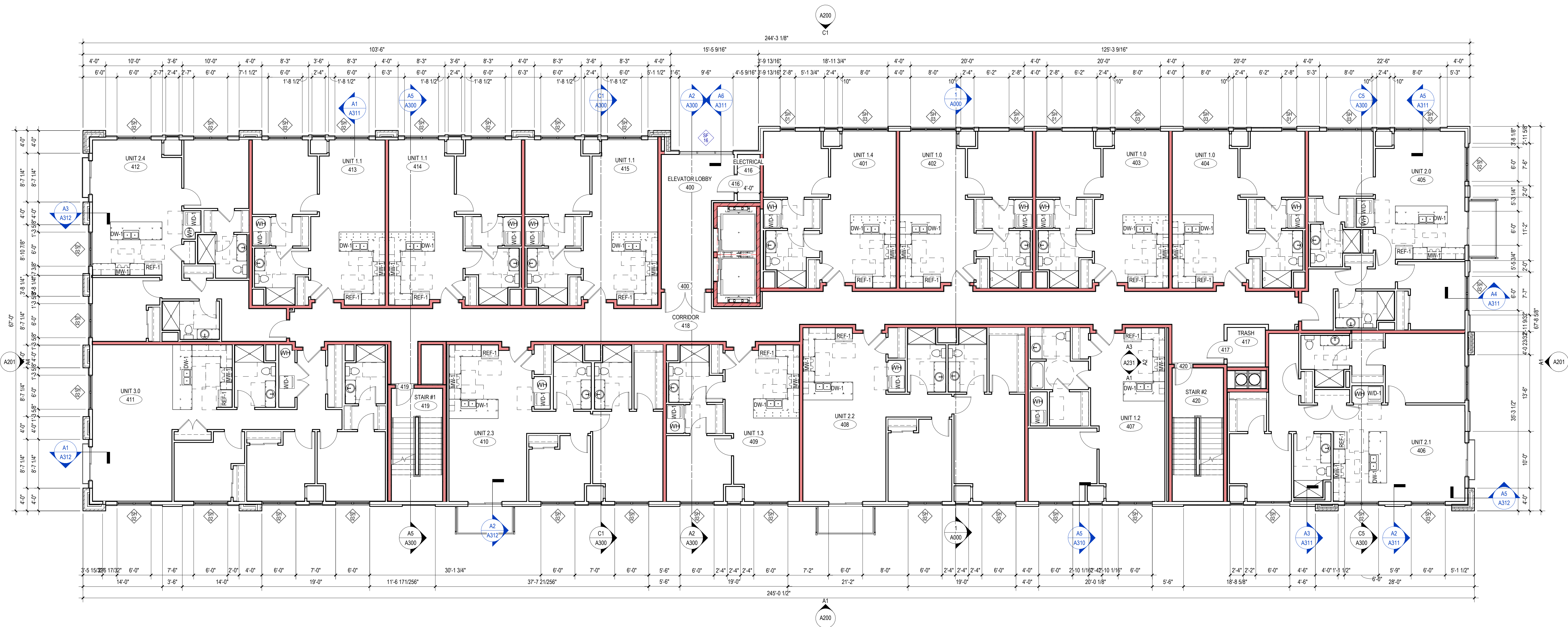
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PJ  
PROJECT NUMBER 924382

4TH FLR PLAN

A104

© 2025 Epstein Uhen Architects, Inc.



N  
A1 4TH FLR PLAN  
1/8" = 1'-0" | A104

1

2

3

4

5

6

7



FLOOR PLAN NOTES

- A. BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- B. ALL DIMENSION STRINGS ARE STUD TO STUD, UNLESS NOTED OTHERWISE.
- C. VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH <OWNER><OWNER REPRESENTATIVE><BUILDING FACILITY MANAGER>
- D. REFER TO SHEET <A000> FOR REFERENCED PARTITION TYPES AND DETAILS. WALLS NOT TAGGED ON THESE PLANS SHALL BE PARTITION TYPE <S3A-S11>
- E. PROVIDE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD AT THE FOLLOWING LOCATIONS:
- ENTIRE WALL DIRECTLY BEHIND OR ADJACENT TO ANY PLUMBING FIXTURE INCLUDING, BUT NOT LIMITED TO, WATER CLOSETS, SHOWERS, DRINKING FOUNTAINS, SINKS, LAVATORIES AND EYEWASHES.
  - ALL WALLS OF AREAS INCLUDING, BUT NOT LIMITED TO, SINGLE OCCUPANT TOILET ROOMS, JANITOR CLOSETS, SWIMMING POOLS, THERAPY POOLS, COMMERCIAL KITCHENS, DISHWASHING, ETC.
  - WHERE CERAMIC TILE OR SOLID SURFACE WALL CLADDING IS SCHEDULED, PROVIDE CEMENT BOARD BACKER BOARD IN LIEU OF GYPSUM BOARD.
- F. LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- G. PROVIDE BLOCKING IN WALLS AS REQUIRED FOR NEW MILLWORK, CASEWORK, DOOR BUMPERS, ACCESSORIES, EQUIPMENT, FIXTURES, AND <OWNERS><TENANT>S WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO, TELEVISIONS/MONITORS, MARKER BOARDS, TACK BOARDS AND SIGNAGE. OPEN EXISTING WALLS AS NEEDED TO INSTALL CONCEALED BLOCKING WHERE REQUIRED, AND PATCH WALLS TO MATCH EXISTING CONSTRUCTION. COORDINATE WITH <OWNER><TENANT> ON LOCATIONS OF WALL-MOUNTED EQUIPMENT.
- H. PROVIDE 3/4" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT AT <ROOM NAME AND NUMBER> INSTALL AT 1'-0" AFF TO FINISHED CEILING. PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH <TENANT><OWNER>

KEYNOTES PER SHEET

PROJECT INFORMATION

550 WEST MIXED  
USE

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
------	-------------

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**

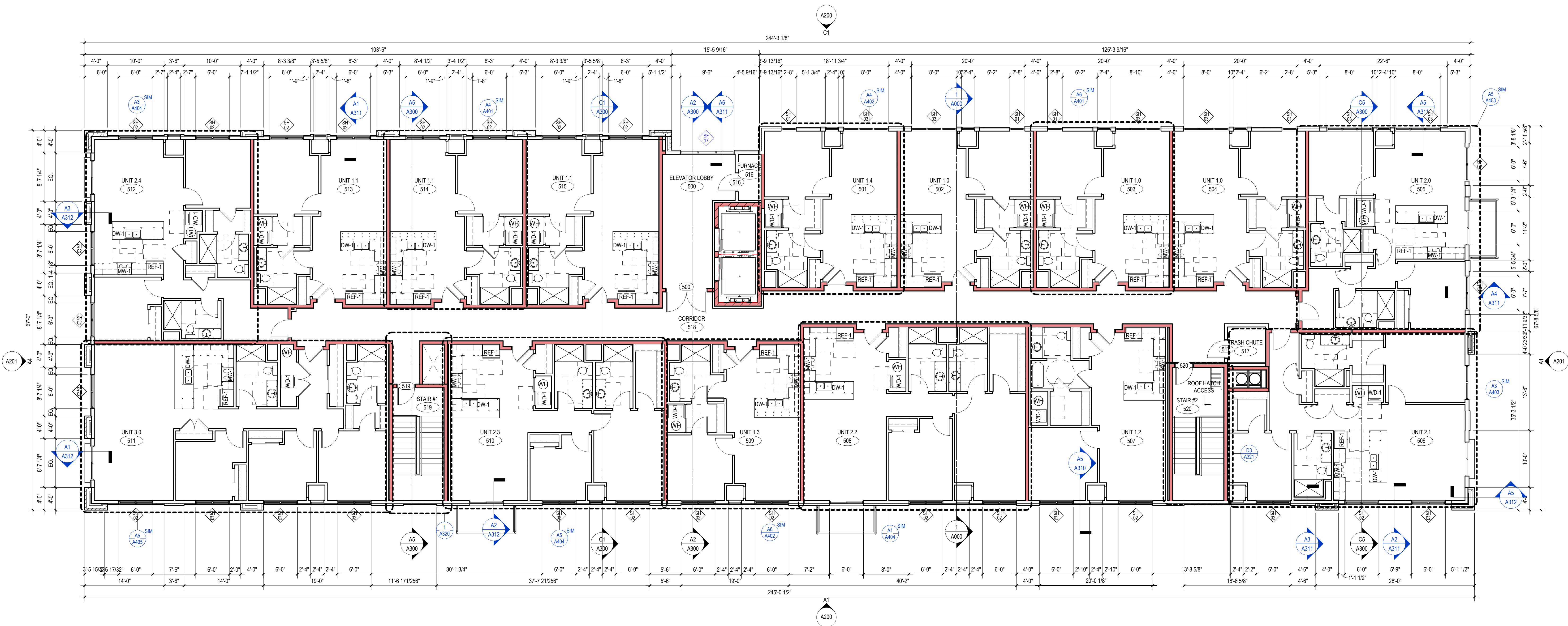
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PJ  
PROJECT NUMBER 924382

5TH FLR PLAN

A105

© 2025 Epstein Uhan Architects, Inc.





REVIEW ALL "AS-BUILT" NOTES  
REMOVE THE "x" AND THE BOLD  
WHEN THE NOTE HAS BEEN FULLY UPDATED.  
THIS PROGRESS NOTE SHOULD BE  
REMOVED ONLY WHEN COMPLETELY UPDATED



milwaukee | madison | green bay | denver | atlanta

## ROOF PLAN NOTES

- A. ALL CONTRACTORS SHALL COORDINATE AND LOCATE ALL ROOF OPENINGS AND PENETRATIONS WITH STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS.
- B. PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENT FOR WARRANTY AND CURRENT NRCA STANDARDS.
- C. <PROVIDE 4'-0" X 4'-0" PANS AT ROOF DRAINS TO ACCOMMODATE FOR SLOPE AT ACTUAL LOCATION OF ROOF DRAINS AT COLUMNS.>
- D. PROVIDE TAPERED INSULATION SADDLES AND CRICKETS AT 1/4" PER FOOT AT ALL ROOF TOP EQUIPMENT AND PENETRATIONS TO ENSURE POSITIVE DRAINAGE.

## ROOF PLAN LEGEND

- RD ROOF DRAIN
- OFD OVERFLOW DRAIN
- DS DOWNSPOUT
- MEMBRANE ROOF PAVER
- X" INSULATION THICKNESS
- ← SLOPE DIRECTION OF ROOF & TAPERED INSULATION
- CRICKETS AND SADDLES

SEE SHEET A000 FOR ROOF ASSEMBLY INFORMATION

## KEYNOTES PER SHEET

B1020-01 | ROOF/CEILING ASSEMBLY - PITCHED TOP CHORD WOOD TRUSS (1 HOUR RATED)

### PROJECT INFORMATION

550 WEST MIXED  
USE

### ISSUANCE AND REVISIONS

DATE	DESCRIPTION
------	-------------

### KEY PLAN

### SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

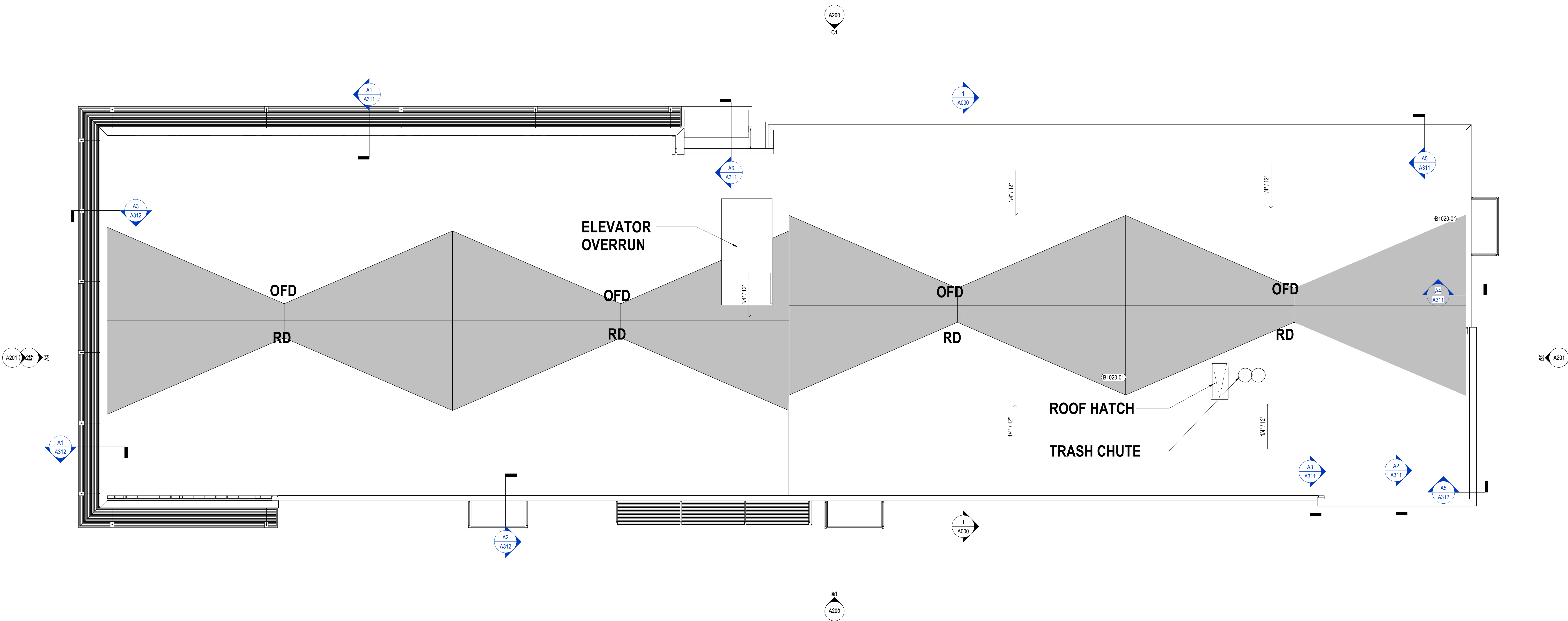
PROJECT MANAGER PJ

PROJECT NUMBER 924382

### ROOF PLAN

A106

© 2025 Epstein Uhen Architects, Inc.



N  
A1 ROOF PLAN  
1/8\" = 1'-0\" | A106

1

2

3

4

5

6

7



## EXTERIOR ELEVATION NOTES

- A. SEE SHEET <XXXX> FOR EXTERIOR FRAME TYPES AND DIMENSIONS.
- B. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS.
- C. ALL INSIDE AND OUTSIDE CORNERS OF PRECAST TRIM TO NOT BE MITERED.
- D. EXTERIOR SIGNAGE ON BUILDING TO BE COORDINATED AND VERIFIED WITH ARCHITECT, OWNER AND SIGNAGE VENDOR.
- E. ALL VERTICAL INSIDE CORNERS TO HAVE 1/2" MOVEMENT JOINT.
- F. MJ = INDICATES MOVEMENT JOINT - 1/2" GAP.
- G. PJ = INDICATES METAL PANEL JOINT - 1/2" GAP.

E

## PROJECT INFORMATION

550 WEST MIXED  
USE

550 William St,  
DePere WI 54115

## ISSUANCE AND REVISIONS

DATE	DESCRIPTION
------	-------------

C



**C1** NORTH ELEVATION  
1/8" = 1'-0" | A200

## KEY PLAN

B



**A1** SOUTH ELEVATION  
1/8" = 1'-0" | A200

## SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PJ  
PROJECT NUMBER 924382

A

EXTERIOR  
ELEVATIONS

**A200**



EXTERIOR ELEVATION NOTES

- A. SEE SHEET <XXXX> FOR EXTERIOR FRAME TYPES AND DIMENSIONS.  
B. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS.  
C. ALL INSIDE AND OUTSIDE CORNERS OF PRECAST TRIM TO NOT BE MITERED.  
D. EXTERIOR SIGNAGE ON BUILDING TO BE COORDINATED AND VERIFIED WITH ARCHITECT, OWNER AND SIGNAGE VENDOR.  
E. ALL VERTICAL INSIDE CORNERS TO HAVE 1/2" MOVEMENT JOINT.  
F. MJ = INDICATES MOVEMENT JOINT - 1/2" GAP.  
G. PJ = INDICATES METAL PANEL JOINT - 1/2" GAP.

KEYNOTES PER SHEET

PROJECT INFORMATION

550 WEST MIXED  
USE

550 William St,  
DePere WI 54115

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
------	-------------

C

KEY PLAN

B

SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**  
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PJ  
PROJECT NUMBER 924382

EXTERIOR  
ELEVATIONS

A201



D1 SOUTH ELEVATION - METAL PANEL THICKNESS  
1/16" = 1'-0" | A201



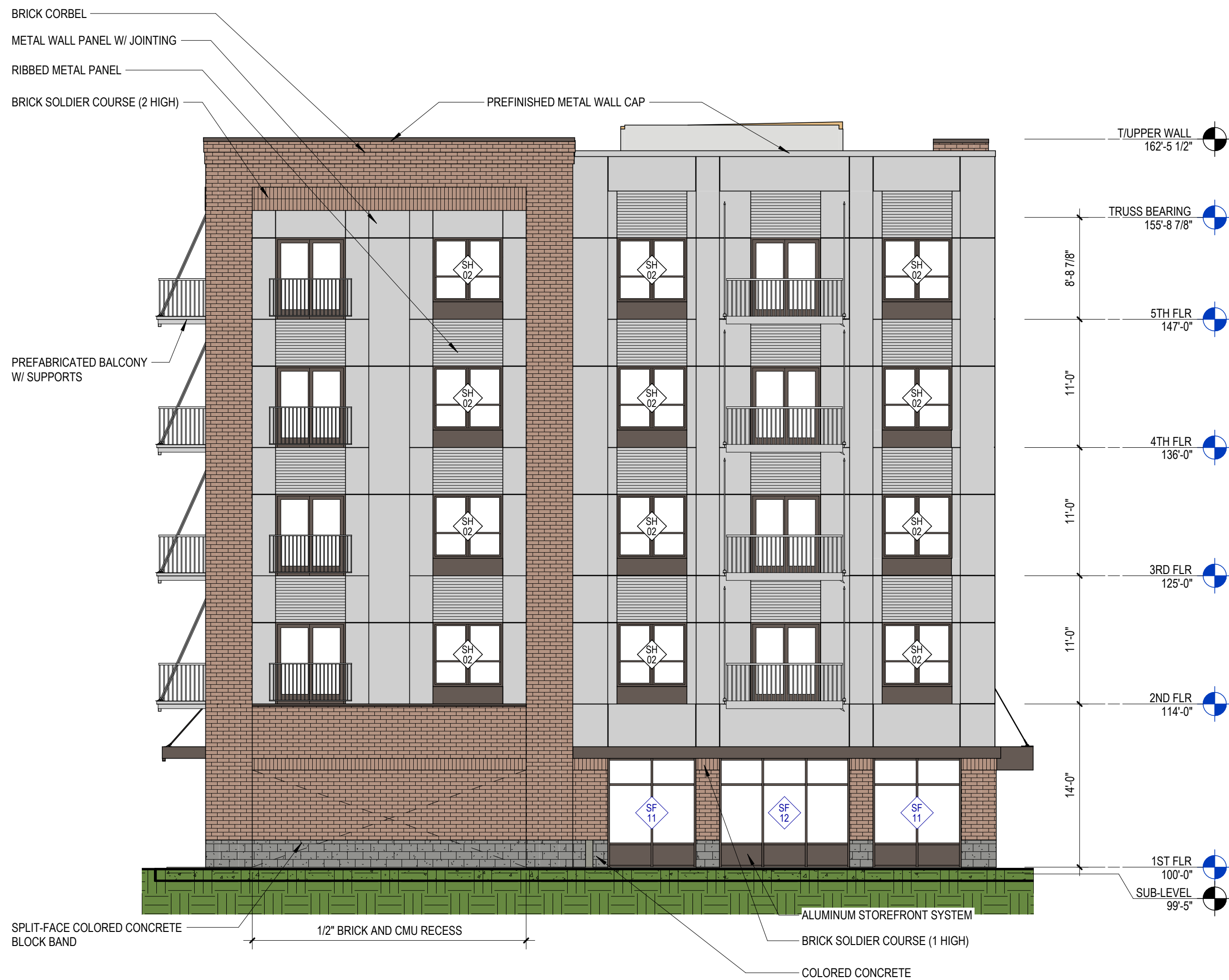
D5 WEST ELEVATION - METAL PANEL THICKNESS  
1/16" = 1'-0" | A201



C1 NORTH ELEVATION - METAL PANEL THICKNESS  
1/16" = 1'-0" | A201



C5 EAST ELEVATION - METAL PANEL THICKNESS  
1/16" = 1'-0" | A201



A1 EAST ELEVATION  
1/8" = 1'-0" | A201



A4 WEST ELEVATION  
1/8" = 1'-0" | A201





milwaukee | madison | green bay | denver | atlanta

E

PROJECT INFORMATION

550 WEST MIXED  
USE

D 550 William St,  
DePere WI 54115

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
------	-------------

C

KEY PLAN

B

SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**  
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PJ  
PROJECT NUMBER 924382

A

EXTERIOR VIEWS

**A202**

© 2025 Eppstein Uhen Architects, Inc.



**C1** SW VIEW  
| A202



**C4** NW VIEW  
| A202



**A1** NE VIEW  
| A202



E

PROJECT INFORMATION

550 WEST MIXED  
USE

D 550 William St,  
DePere WI 54115

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
------	-------------

C

KEY PLAN

B

SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**  
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

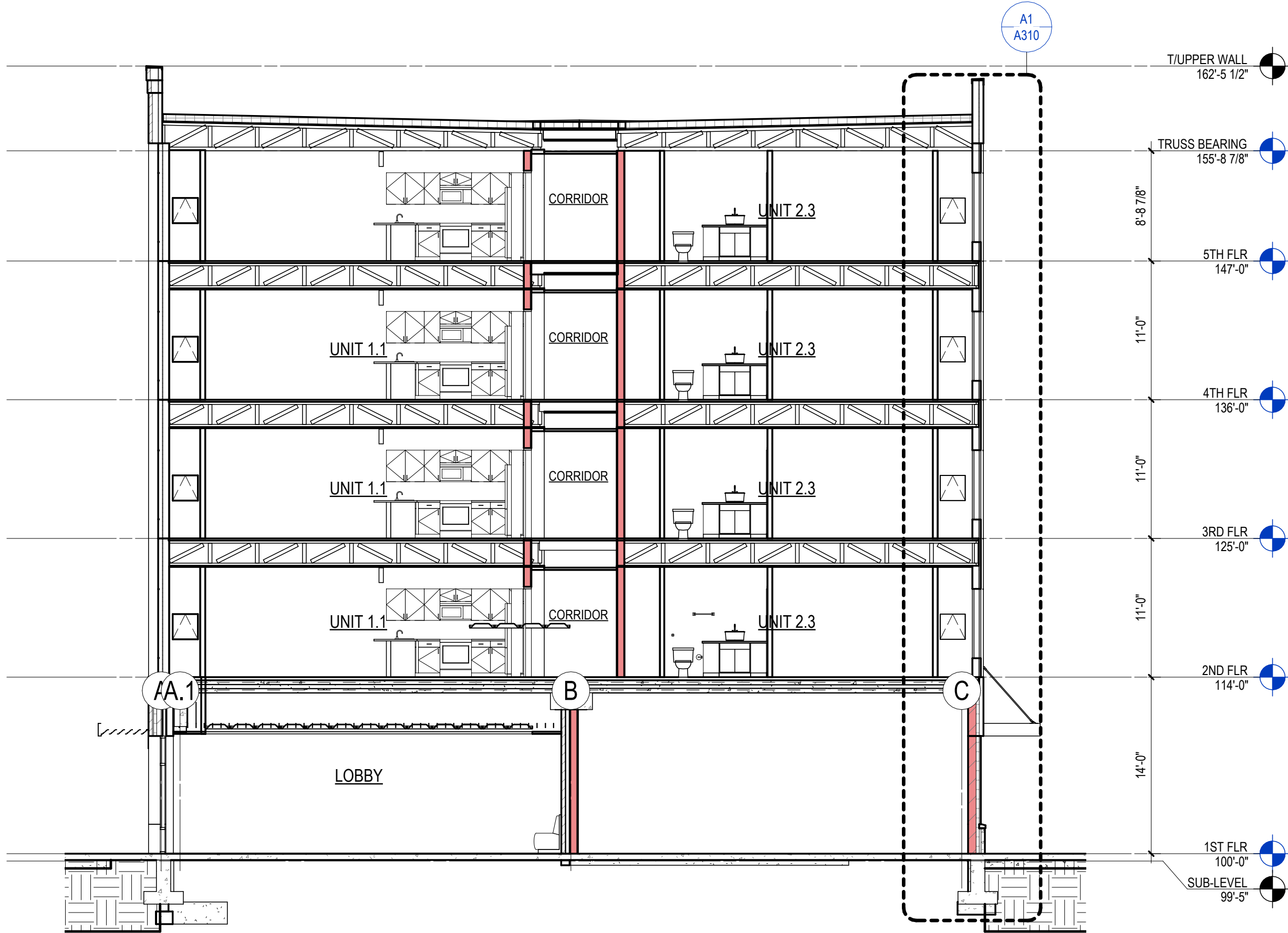
PROJECT MANAGER PJ

PROJECT NUMBER 924382

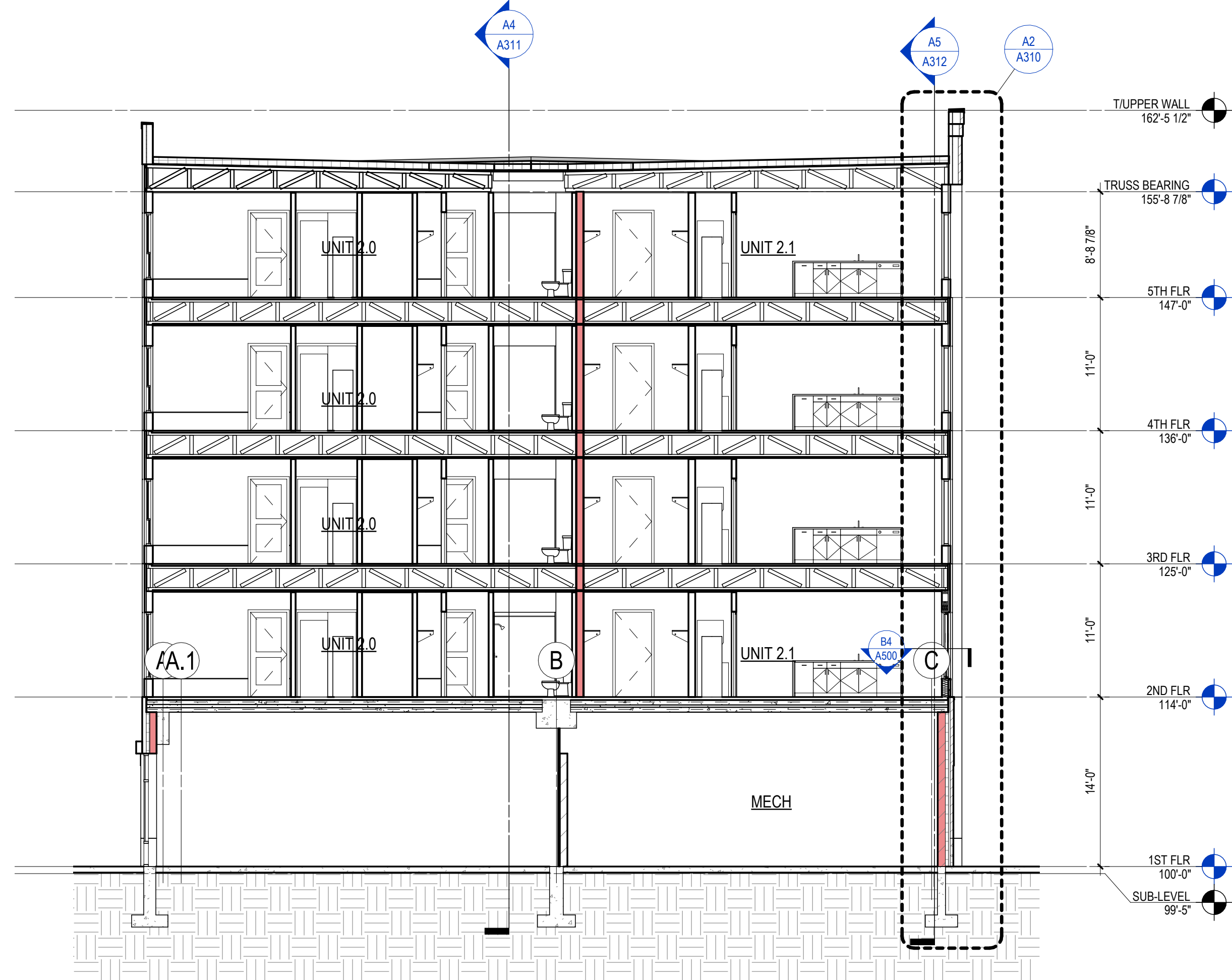
A

BUILDING SECTIONS

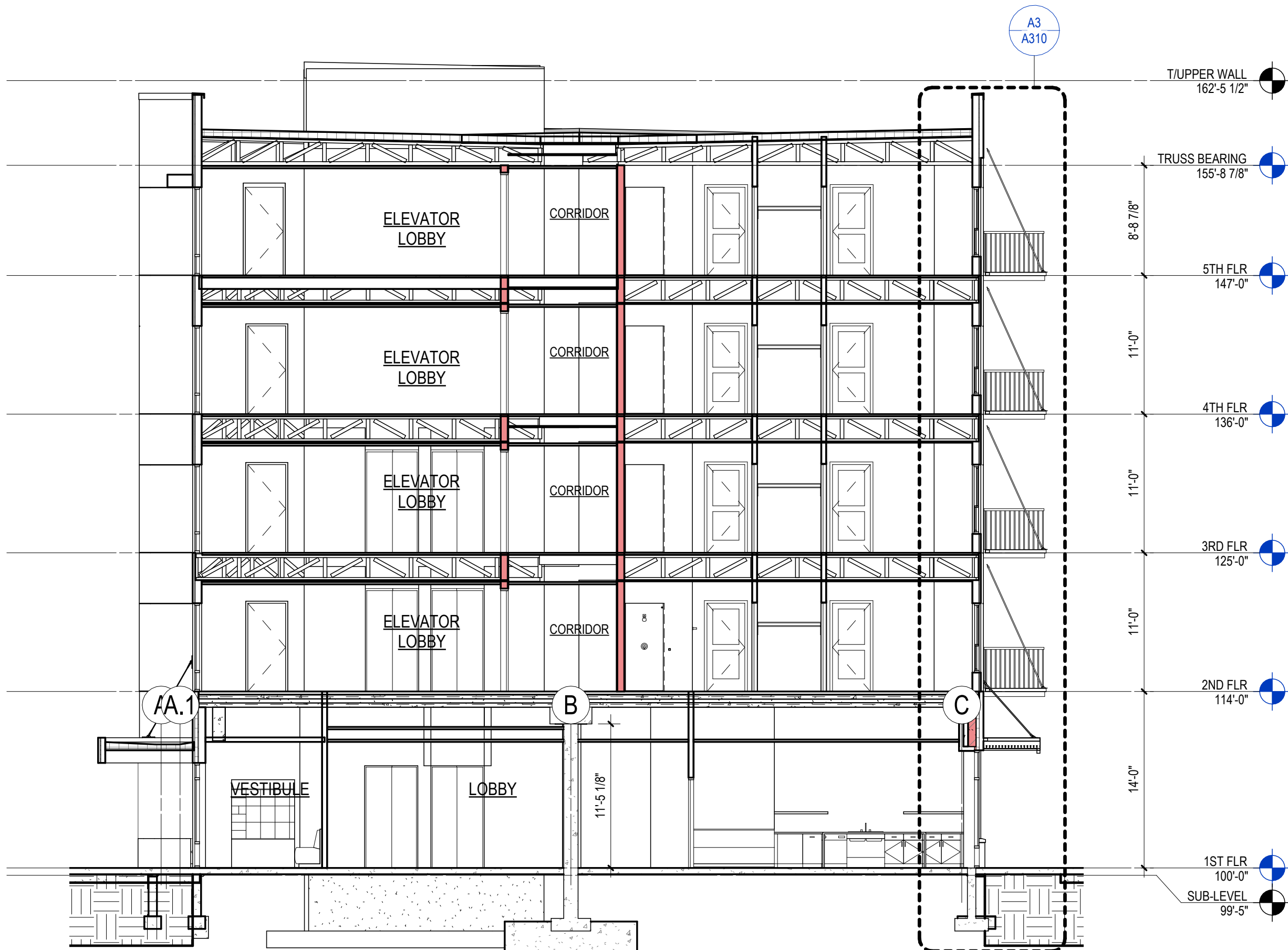
A300



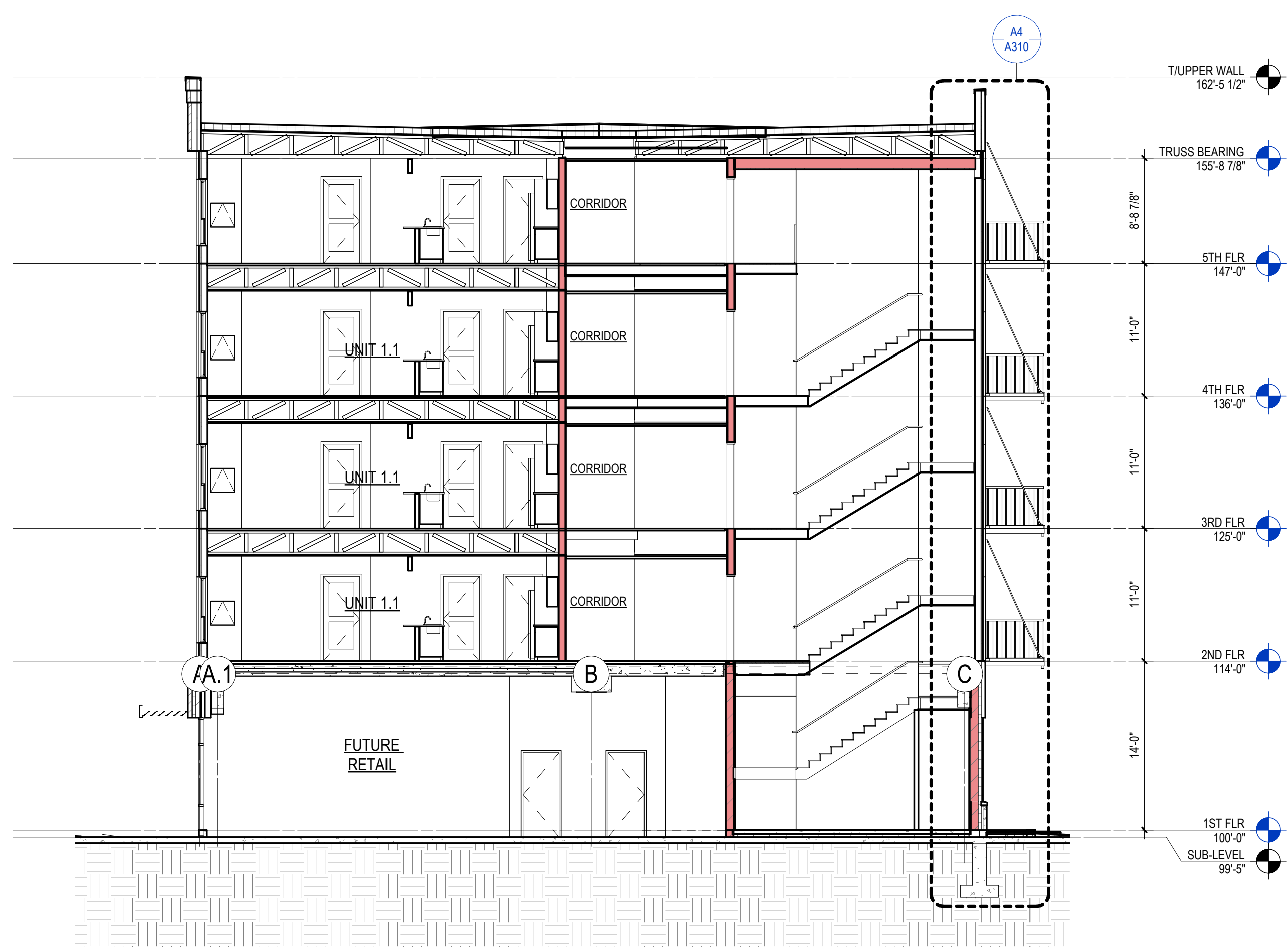
C1 BUILDING SECTION @ ELEVATOR LOBBY2  
1/8" = 1'-0" | A300



C5 BUILDING SECTION @ MECH. ROOM  
1/8" = 1'-0" | A300



A2 BUILDING SECTION @ ELEVATOR LOBBY  
1/8" = 1'-0" | A300



A5 BUILDING SECTION  
1/8" = 1'-0" | A300





WISCONSIN AND WILLIAM





SOUTHWEST FROM WISCONSIN





RENDERED SHADOWLINE ELEVATION - NORTH





RENDERED SHADOWLINE ELEVATION - WEST





RENDERED SHADOWLINE ELEVATION - SOUTH





RENDERED SHADOWLINE ELEVATION - EAST